

Title	Planning Applications
To:	Planning Control Committee
On:	13 May 2014
By:	Development Manager
Status:	For Publication

Executive Summary

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

This report has the following implications

Township Forum/ Ward: Identified in each case.

Policy: Identified in each case.

Resources: Not generally applicable.

Equality Act 2010: All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:
The elimination of discrimination, harassment and victimisation;
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

Human Rights: All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

Development Manager

Background Documents

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

01 Township Forum - Ward: North Manor **App No.** 57085

Location: Holcombe Brook Sports Club, Longsight Road, Holcombe Brook, Bury, BL0 9TD

Proposal: Demolition of existing clubhouse and erection of 50 flats (category II type) for the elderly with associated communal facilities, landscaping and car parking

Recommendation: Minded to Approve **Site Visit:** Y

02 Township Forum - Ward: Bury East - Moorside **App No.** 57303

Location: Walmersley Golf Club, Garrett's Close, White Carr Lane, Bury, BL9 6TE

Proposal: New putting green on the 6th hole

Recommendation: Approve with Conditions **Site Visit:** N

03 Township Forum - Ward: Radcliffe - East **App No.** 57325

Location: Land Adjacent to Radcliffe Delivery Office, 12 Dale Street, Radcliffe, Manchester, M26 1AA

Proposal: Provision of a replacement bus station in Radcliffe town centre.

Recommendation: Approve with Conditions **Site Visit:** Y

04 Township Forum - Ward: Ramsbottom and Tottington - Ramsbottom **App No.** 57344

Location: Hollingrove Stables, Redisher Lane, Hawkshaw, Bury, BL8 4HX

Proposal: Conversion of stables to dwelling; single storey extensions at side and rear and porch to front elevation (resubmission)

Recommendation: Minded to Approve **Site Visit:** Y

05 Township Forum - Ward: Radcliffe - East **App No.** 57362

Location: Former Whittaker House, Parsonage Street/Whittaker Street, Radcliffe, Manchester, M26 2TD

Proposal: Demolition of existing building and erection of supported living accommodation (14 one-bedroom apartments) and Higher Complex Care accommodation (6 one bedroom-apartments) together with access and landscaping

Recommendation: Minded to Approve **Site Visit:** Y

Ward: North Manor

Item 01

Applicant: McCarthy & Stone Retirement Lifestyles Ltd

Location: Holcombe Brook Sports Club, Longsight Road, Holcombe Brook, Bury, BL0 9TD

Proposal: Demolition of existing clubhouse and erection of 50 flats (category II type) for the elderly with associated communal facilities, landscaping and car parking

Application Ref: 57085/Full

Target Date: 16/05/2014

Recommendation: Minded to Approve

It is recommended that this application is Minded to Approve subject to the signing and completion of a deed of variation to link the application to the Section 106 agreement from the previously approved application (55858). Should the agreement not be signed and completed within a reasonable period, it is requested that the application be determined by the Development Manager.

Description

The application concerns the site of the existing Holcombe Brook Tennis Club, which is situated on the westerly side of Longsight Road. The site is located a short distance from the Local Centre at Holcombe Brook.

The club is an active facility and has six hard surfaced tennis courts and a small single storey timber clubhouse towards the rear of the site. The car park is located on the frontage of the site and the vehicular access is close to the centre of the site, directly off Longsight Road.

The area immediately surrounding the site is wholly residential and made up of detached and semi-detached dwellings.

Planning permission (53231) was granted in October 2011 for the redevelopment of the whole site following removal of the tennis courts and the demolition of the clubhouse with a single building containing 55 category II sheltered flats for the elderly. The flats would be located in a two and three storey 'T shaped' building. The building would occupy the frontage along Longsight Road with an element at right angles towards the rear of the site. The building would have a pitched roof of concrete roof tiles and would be constructed from buff reconstituted stone and sand/cement render.

The planning consent was linked to application 53247, which granted permission for 8 tennis courts, a clubhouse and associated car parking at land off Hazel Hall Lane in March 2011.

The proposed development involves the demolition of the existing clubhouse and removal of the tennis courts and the provision of a single building to contain 50 category II sheltered flats for the elderly.

The proposed flats would be located in a T-shaped building, which would occupy the frontage along Longsight Road with an element at right angles towards the rear of the site. The building includes a variety of heights and rooflines varying from full three storey sections to two storey and three storeys with the second floor in the roofspace. The proposed building would be constructed from buff reconstituted stone, sand/cement render with a concrete tile roof.

Vehicular access would be provided towards the southern end of the site and would link to a 33 space car park. There would be an outdoor recreational area at the rear of the site.

Relevant Planning History

43054 - Three storey block of 55 sheltered flats for the elderly together with house manager's accommodation, car parking and landscaping at Holcombe Brook Tennis Club, Longsight Road, Holcombe Brook. Refused - 13 October 2004

This application was refused as there was a loss of recreational space, a lack of provision for public art, no provision for affordable housing, the access arrangements were inadequate and the application and plans contained insufficient information.

45387 - Erection of 55 sheltered flats for the elderly, house manager's accommodation, car parking and landscaping at Holcombe Brook Tennis Club, Longsight Road, Holcombe Brook. Refused - 20 December 2005

This application was refused as there was a loss of recreational space, inadequate provision made for affordable housing and insufficient parking provision.

50418 - Erection of 55 category II sheltered flats for the elderly and house manager's accommodation at Holcombe Brook Tennis Club, Longsight Road, Holcombe Brook. Withdrawn - 6 August 2009.

This application was withdrawn as there were issues relating to the loss of recreational space, a lack of provision for affordable housing and public art, impact upon residential amenity, impact upon trees, insufficient information in relation to design and unsatisfactory arrangements for disabled people.

53231 - Erection of 55 category II sheltered flats for the elderly, communal facilities, landscaping and car parking at Holcombe Brook Tennis Club, Longsight Road, Ramsbottom. Approved with conditions - 31 October 2011.

Related applications on other sites

42996 - Construction of 13 new tennis courts (9 with floodlights); new clubhouse, car park, 2 children's courts, practice wall and landscaping at land off Hazel Hall Lane, Summerseat. Refused - 13 October 2004.

This application was refused as the proposed development would harm the openness of the Green Belt and the access arrangements were inadequate.

45384 - Construction of 9 no. tennis courts (5 with floodlighting), new clubhouse, car park, 2 children's courts, practice wall and landscaping (Resubmission) at land off Hazel Hall Lane, Summerseat. Refused - 20 December 2005

This application was refused as the proposed development would harm the openness of the Green Belt.

50419 - Construction of 9 tennis courts (6 with floodlighting), new clubhouse, associated car parking, junior coaching area and landscaping at land off Summerseat Lane, Holcombe Brook. Withdrawn - 31 July 2009

This application was withdrawn.

53246 - Construction of 8 tennis courts (6 with floodlighting), clubhouse, associated car parking and landscaping at land to the north of Summerseat Lane, Summerseat. Refused - 2 March 2011.

53247 - Construction of 8 tennis courts (6 with floodlighting), clubhouse, associated car parking, mini tennis area with practice wall and landscaping at land off Hazel Hall Lane, Summerseat. Approved with conditions - 2 March 2011.

Publicity

54 neighbouring properties (Longsight Road, Holcombe Court, Mayfield Road, Kendal Road, Avondale Drive) were notified by means of a letter on 17 February and a press notice was published in the Bury Times on 27 February. Site notices were posted on 24 February 2014.

3 letters have been received from the occupiers of 17 Avondale Drive, 25 Longsight Road and 1 Holcombe Court, which have raised the following issues:

- There are 3 trees along the boundary (with Holcombe Court) and these should be protected by a TPO.
- The proposed development would devalue the existing properties.
- Welcome the reduction in numbers and the additional car parking provided.
- There would be a loss of visual amenity.
- The proposed building is not in keeping with the area.
- Conditions should be included to ensure the landscaping is undertaken.
- The proposed development addresses some concerns relating to car parking and size of the building.
- An additional 50 properties would overwhelm current services - drainage, electricity etc.
- There is not enough car parking.
- There is no guarantee that the flats would be used for the elderly and may be used for asylum seekers and young offenders.
- There is no guarantee that the building will be built in accordance with the drawings submitted.
- The applicant has not identified a need for such a development.
- The Council should act in the interests of the local residents and refuse permission for this development.
- This is the fifth application that has been submitted for this development. The repeated submission of planning applications constitutes harassment of local residents.

The objectors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections in principle. Further comments to be reported in the supplementary report.

Drainage Section - Comments awaited.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land.

Environmental Health - Pollution Control - Comments awaited.

Waste Management - Comments awaited.

Environment Agency - No objections, subject to the inclusion of a condition relating to foul and surface water drainage.

Design for security - No objections.

United Utilities - No objections, subject to the inclusion of conditions relating to foul and surface water drainage.

Electricity North West - No objections, subject to the inclusion of informatives.

GM Fire Service - Comments awaited.

Transport for Greater Manchester - Comments awaited.

GM Ecology Unit - No objections, subject to the inclusion of conditions relating to bats and nesting birds.

Sport England - No objections, subject to the inclusion of a condition ensuring that the existing tennis facility is not developed until a replacement facility is available.

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H4/1	Affordable Housing
H4/2	Special Needs Housing
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN1/5	Crime Prevention
EN1/6	Public Art
EN1/7	Throughroutes and Gateways
EN8	Woodland and Trees

EN8/2	Woodland and Tree Planting
RT1/1	Protection of Recreation Provision in the Urban Area
RT2/1	Provision of New Recreation Sites
RT2/2	Recreation Provision in New Housing Development
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
SPD1	Open Space, Sport and Recreation Provision
SPD4	DC Policy Guidance Note 4: Percent for Art
SPD5	DC Policy Guidance Note 5: Affordable Housing
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework
EN6/3	Features of Ecological Value

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Loss of sports/recreation facility - The existing tennis club facility is protected as a recreation facility under Policy RT1/1.

Policy RT1/1 states that development will not be allowed where it would result in the loss of existing outdoor public or private recreation facilities, unless one of the following exceptions is met:

- Sports facilities can best be retained and enhanced through the redevelopment of a small part of the site
- Alternative provision of equivalent community benefit is made available
- It can be demonstrated that there is an excess of sports pitch provision and public open space in the area.

Planning permission was granted to provide a new tennis club facility at land off Hazel Hall Lane (53247) in March 2011 and is currently under construction. Sport England has no objections to the proposal, subject to the inclusion of a condition restricting development at the existing tennis club site, until a replacement facility is available for use. Therefore, the proposed development, subject to conditional control, would not lead to a loss of a sports facility and would be in accordance with Policy RT1/1 of the Bury Unitary Development Plan.

Residential development - Following revocation of the North West Regional Strategy on 20th May 2013, there is no statutory housing target for Bury. Work is in progress on Bury's Local Plan - 'The Core Strategy', which will bring forward a new statutory housing target. It is currently proposed that the new housing target in the Local Plan should be set at 400 dwellings per annum, which is currently timetabled to be adopted in 2014.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for housing development, including the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses and other policies and proposals of the plan.

Policy H4/2 states that the Council will encourage the provision of special needs housing and it will be assessed with regard to the location of the site in relation to local shops, public transport, health facilities and community facilities; the gradient on site; car parking; amenity space and the design, layout and landscaping of the site.

The site is located within the urban area and is surrounded by residential properties. As such, the proposal would not conflict with the surrounding land uses. The site consists of previously developed land and there would be adequate infrastructure available. Therefore, the principle of residential is acceptable.

The site is located within walking distance of the local shopping centre and is located on a main bus route. The gradient of the site, car parking and the design/layout of the site will be assessed later in the report. Therefore, the proposed development is acceptable in principle and would be in accordance with Policy H4/2 of the adopted Unitary Development Plan.

Affordable housing - The Council's affordable housing policy seeks to secure 25% of units on large sites to be affordable. There were detailed discussions during the course of the previous application (53231) with regard to viability of the development for category II sheltered flats and the need to provide a new tennis club facility.

The applicant submitted a range of different viability assessments and costs relating to the proposals. These figures demonstrated that the proposal (53231) would not be viable if the full provision for affordable housing were to be met. The scheme only becomes marginally viable with a reduced provision of affordable housing. This is equitant to an overall discount of £346,000, which represents around 60% of the affordable housing target. The evidence submitted through the viability assessments justifies this reduced provision and the reduction in provision is acceptable and in line with the affordable housing Policy. In addition, an overage clause formed part of the s106 legal agreement to enable the Council to 'clawback' the reduced provision, should the scheme achieve a greater return than indicated in the submitted viability assessments. The payment of £346, 000 was secured through a Section 106 agreement.

The agent has agreed to provide the same planning obligations as negotiated on the previous application and as such, a deed of variation will be completed to secure the one-off payment of £346,000 for affordable housing.

Recreation provision - Policy RT2/2 states that developers of new housing for 10 or more dwellings will be expected to provide for the recreational needs of the prospective residents, by providing and laying out recreational open space within the development. For larger developments (50 or more), such provision should be provided on site, where possible in a single plot.

The proposed development includes an area of amenity space of 0.17 hectares with a single seating area located centrally. There would be several paths within the landscaped area, which would connect to the proposed building, car park and Longsight Road. The landscaping plan indicates that there would be a substantial amount of planting and patio areas would be provided to the ground floor apartments. Therefore, the proposed development would comply with Policy RT2/2 of the adopted Unitary Development Plan and SPD1.

Design, siting and layout - The proposed building is traditional in character and uses render, stone and brick for the external finishes. The buildings in the locality are traditional in style but there is no prevailing type or design. The design of the proposed building has incorporated some of the detail from No. 16 Longsight Road. The provision of recessed areas and the variety of materials breaks up the elevations. As such, the proposed building would be appropriate in terms of bulk and massing and would not be a prominent feature in the streetscene.

The proposed building would be 0.3 metres higher than No. 20 Longsight Road,. The proposed three storey element of the building would be 3.23 metres higher than No. 20, but would be some 21 metres away. The proposed building would be 1.4 metres lower than No. 16 Longsight Road at the closest point and 0.2 metres lower at the highest point of the building, which is some 16.8 metres away. As such, a three storey building would not dominate the surrounding buildings or the streetscene and would be appropriate in terms of height.

Residential amenity - SPD6 provides guidance on aspect distances between residential properties and would be relevant in this case.

There would be 32 metres between proposed building and No. 17 Avondale Drive and 24.6 metres between proposed development and 15 Avondale Drive. This represents an increase of 8 metres and 5 metres respectively when compared to permitted scheme (53231).

There would be 16.1 metres between a habitable room window to No. 20 Longsight Road and the proposed development and there would be a minimum of 29.2 metres between the proposed development and Nos 33 - 39 Longsight Road. Both of these relationships would comply with the aspect standards in SPD6. requirement.

Therefore, as the proposed development would comply with the aspect standards in SPD6, it would not have an adverse impact upon the amenity of the neighbouring properties.

Wildlife/Bats - A bat survey was undertaken in August 2010 and a second survey was undertaken in February 2014. Both surveys concluded that due to the low level activity during the 2010 survey and the lack of evidence suggesting current or historic roosts in the 2014 survey, the building has been classed as low risk with negligible bat roost potential. GMEU has no objections, subject to the inclusion of conditions relating to bats and nesting birds. Therefore, the proposed development would not cause harm to a protected species and would be in accordance with Policy EN6/4 of the Bury Unitary Development Plan and the NPPF.

Highways issues - The access to the site would be relocated towards the southern boundary of the site and would have acceptable visibility splays. The width of the proposed access road has been increased to 5.5 metres and the width of the pavement has been increased to meet Council requirements. The Traffic Section has no objections in principle and further comments will be reported in the Supplementary Report. Therefore, the proposed development would not be detrimental to highway safety.

Parking - SPD11 states that the **maximum** parking provision for sheltered housing is much lower than that for residential dwellings and is 1 space per 3 units. This equates to 17 spaces.

The proposed development would provide 33 spaces including 2 disabled parking bays, which is an over provision. As the site is located on Longsight Road, where on-street parking would have implications for traffic flow, the overprovision of parking would provide parking for visitors, staff and health visitors. Therefore, the proposed development would have an acceptable level of parking and would be in accordance with Policy HT2/4 of the adopted Unitary Development Plan and SPD11.

Access issues - The proposed development would have level access and the provision of a lift within the building is welcomed. Two disabled parking bays would be provided in close proximity to the main entrance. The applicant has confirmed that 1500mm turning circles could be accommodated within each apartment and wheelchair passing places would be provided on the corridors. The internal ramps would be of an acceptable gradient and would not restrict access. Therefore, the proposed development would be fully accessible and would be in accordance with Policy HT5/1 of the adopted Unitary Development Plan.

Planning obligations

The scale of the proposal requires that public art is provided in accordance with Policy EN1/6 of the adopted Unitary Development Plan and SPD4 - Percent for art. This could be provided on site and in that case, would be secured by a condition.

A financial contribution of £346,000 is payable in lieu of providing affordable housing on-site in accordance with Policy H4/1 and SPD5. This would be secured through a Section 106 agreement.

Response to objectors

The issues relating to visual amenity, scale, design, car parking are addressed in the above report.

The objectors wish to see 3 trees retained and these trees would be retained within the landscaped area between the proposed car park and Holcombe Court. The implementation of the proposed landscaping would be secured by a condition.

The issues of loss of value to property prices is not a material planning consideration. A condition is included, which specifies the approved plans. If the applicant was to deviate from these approved plans, then enforcement action may follow.

United Utilities and Electricity North West have been consulted on the application and both have no objections to the proposal, subject to the inclusion of conditions and informatives respectively. Therefore, the proposed development would not overwhelm the existing services.

Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered M/0593, 1221-5-LP, 1221-5-01, 1221-5-02, 1221-5-03, 1221-5-04, 1221-5-05, 1221-4-91, S537 1, S37 2 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;

- Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and; The approved contamination testing shall then be carried out and validatory evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:

- Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
- A Site Verification Report detailing the conclusions and actions taken at each stage of the works including validation works shall be submitted to, and approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.

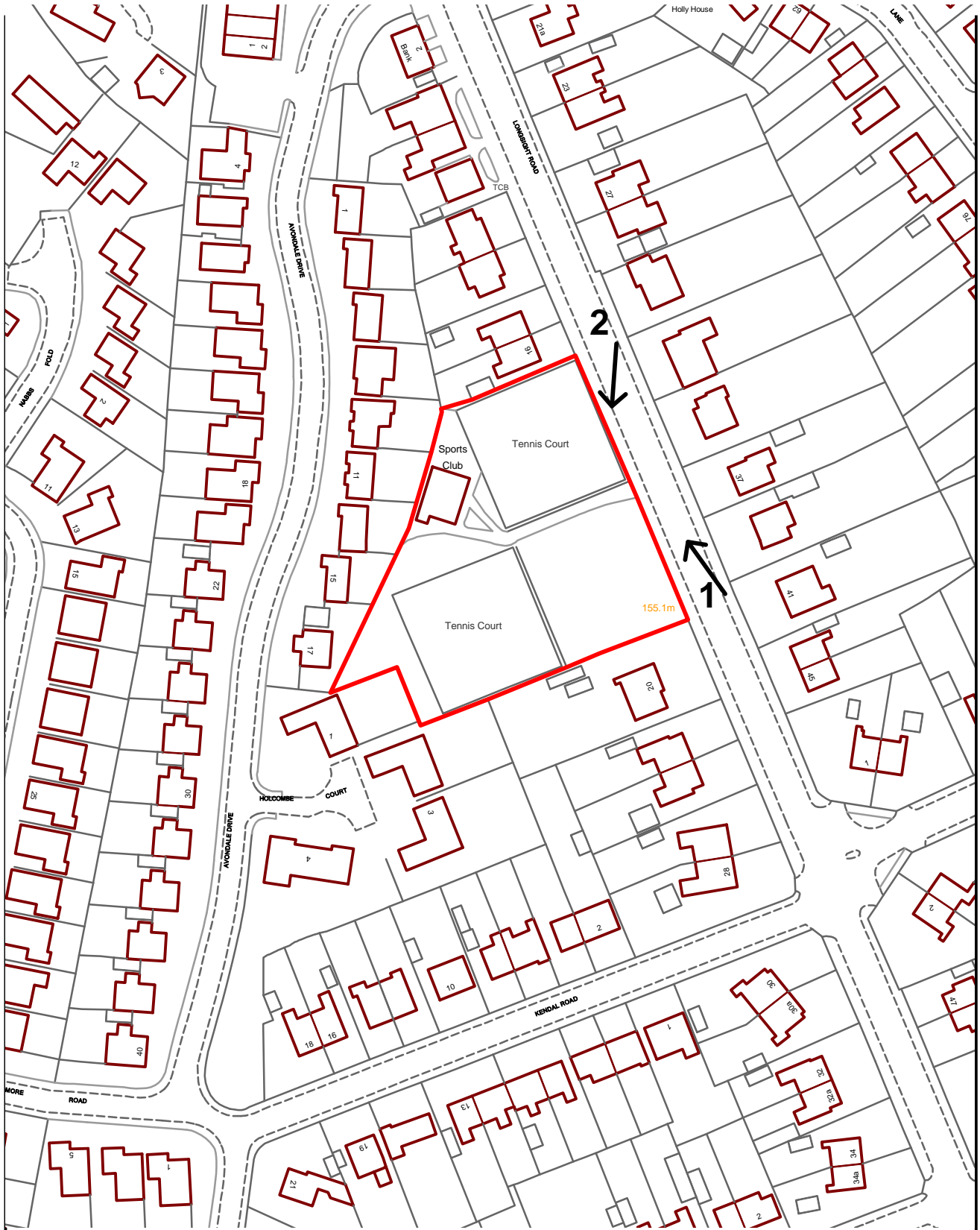
Reason. In the interests of visual amenity and to ensure a satisfactory

development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.

8. No development shall commence unless or until a scheme for the disposal of foul and surface water drainage has been submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in full before the building hereby approved is first occupied.
Reason. To ensure a satisfactory means of drainage pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan.
9. No works shall be carried out to the trees that would disturb nesting birds between 1st March and 31st August inclusive in any year.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
10. If the development hereby approved is delayed beyond April 2014, a survey shall be conducted prior to the demolition of the building(s) and the survey results established as to whether the buildings are utilised by bats or owls. A programme of mitigation shall be submitted to and approved in writing by the Local Planning authority. All mitigation measures shall be fully implemented prior to the commencement of the works and remain in situ on the site for an agreed period of time.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.
11. The development hereby approved shall not commence unless and until a scheme of protection for all trees to be retained on site in accordance with BS 5837:2005 "Trees in Relation to Construction" has been submitted to and agreed in writing by the Local Planning Authority. The development shall not commence unless and until the measures required by that scheme have been implemented, to the written satisfaction of the Local Planning Authority and all measures required by the scheme shall continue until the development has been completed.
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
12. Prior to the commencement of development, details relating to the proposed boundary treatment for the site shall be submitted to and approved in writing by the Local Planning Authority. The approved details only shall be implemented as part of the approved development.
Reason - To secure the satisfactory development of the site and in the interests of the visual amenities of the area pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
12. No development shall commence unless or until the tennis club facility has been re-provided and is available for use.
Reason. To ensure there is no loss of recreation facilities pursuant to Policy RT1/1 - Protection of Recreation Provision in the Urban Area of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 57085

**ADDRESS: Holcombe Brook Sports Club
Longsight Road, Holcombe Brook**



Planning, Environmental and Regulatory Services 1:1250

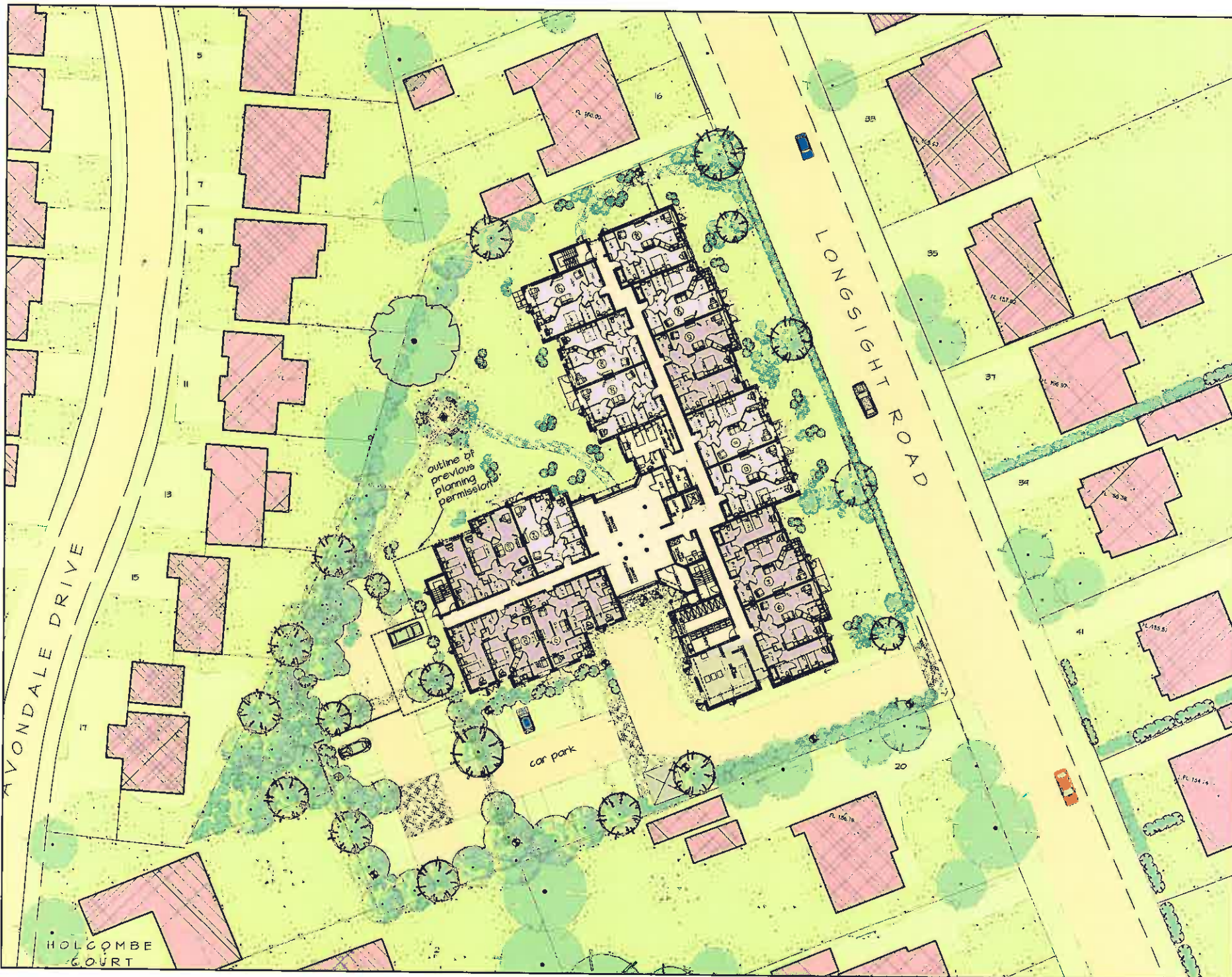
(C) Crown Copyright and database right (2013). Ordnance Survey 100023063.

57085
Photo 1



Photo 2



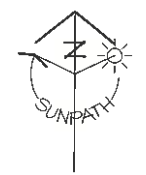


REVISIONS

Rev.	Date	Description
1		existing trees
2		proposed trees

KEY TO EXTERNAL ELECTRICS

- GENESIS EXTRO Street Light**
 Support Column Ref: GW 22 250
 (1000mm above FFL) 57no. total
 - GENESIS EXTRO Bushard Light**
 Wall Bracket Ref: GW 82 254
 (2000mm above SSL) 177no. total
 - Circular Street Light**
 Ref: APPLBY 2005 27no. total
 - GENFLOOD 500 Floodlight**
 (550mm above SSL) 27no. total
 - Circular Floor Fixed Light**
 Ref: NORAL ROULETTE II 171. total
- External lighting controlled by under time switch with two cut-off daily for hours darkness. Controls for above located in the ground floor plant room with light sensitive switch located externally.
- NOTE:
 See separate contractual services divgs. for details of emergency lighting.



ALL DIMENSIONS TO BE CHECKED ON THE WORK TO BE DONE AND TO BE CORRECTED TO THE ACCURACY OF THE WORKING DRAWINGS.



G. L. Dey B.Sc., B.Arch., R.I.B.A.
 Design Director
 York Abingham
 Tel: 01804528822 Tel: 0181 927 7501

Client
McCarthy & Stone
 Live Life, Greater Life

© McCarthy & Stone Residential Lifestyle Limited
 All rights reserved. This document is the property of McCarthy & Stone Residential Lifestyle Limited and is to be used only for the purposes of the project for which it is prepared. No part of this document may be reproduced without the prior written permission of McCarthy & Stone Residential Lifestyle Limited.

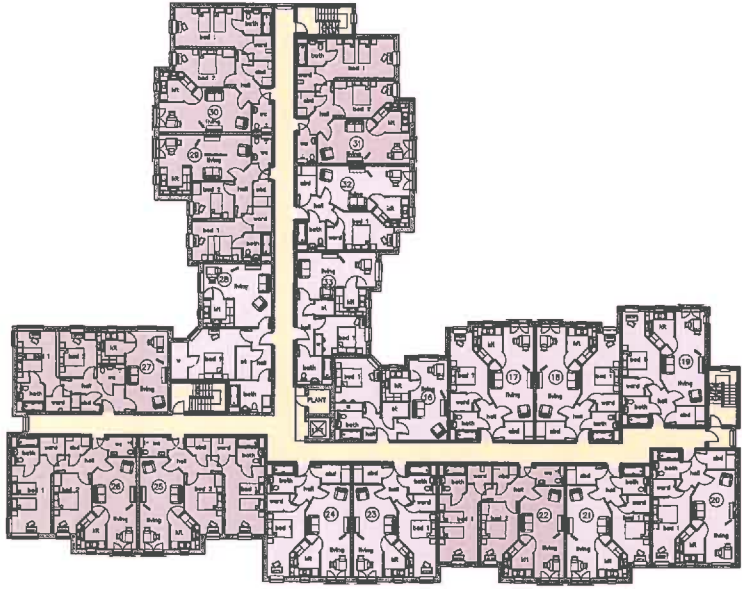
Project Title
 Gt. H Shelters
 Longsight Road
 HOLCOMBE BROOK

Drawing Title
 Site plan

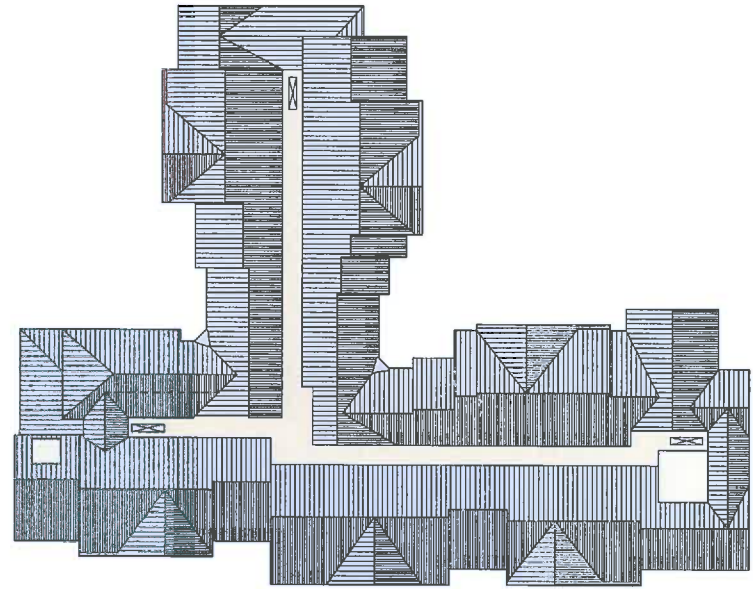
Scale 1:2000 Max Date: Feb 2013
 Drawn: AC Checked:
 Drawing No. 1221-5-01 Rev.

REVISIONS

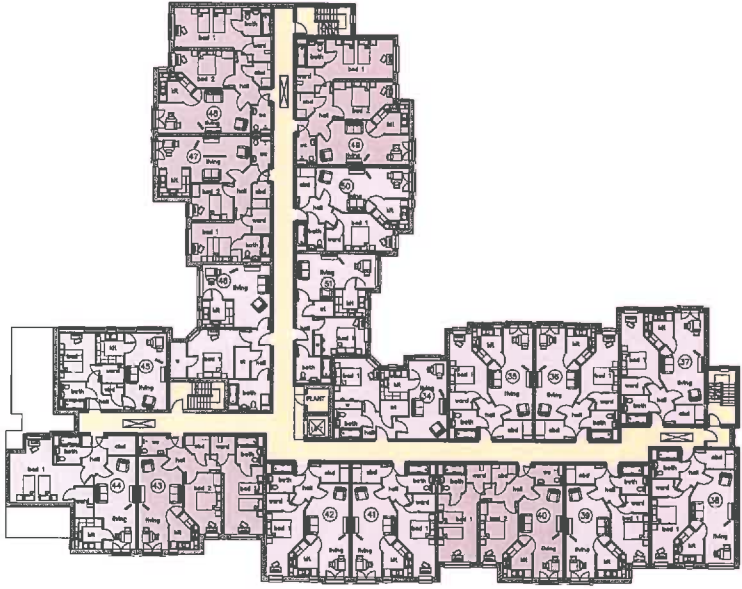
Rev. Date By



First floor



Roof Plan



Second floor

ALL DIMENSIONS TO BE CHECKED ON SITE
 BEFORE TO BE BUILT. DIMENSIONS ONLY
 REPORT REFERENCED TO THE ARCHITECT
 AT ONCE BEFORE PROCEEDING
 COPYRIGHT ACT APPLIES

THE PLANNING BUREAU LIMITED
 Peter Plummer, Architects

G. L. Day B.Sc., B.Arch., R.I.B.A.
 Design Director

York Alnham
 Tel: 01904 523322 Tel: 01151 927 7901

Client

McCarthy & Stone
 Live! Live! Create! Live!

Project Title
 Cat. II Sheltered Apartments
 Longsight Road
 HOLDSWICK, BRISTOL

Drawing Title
 FLOOR PLANS

Scale: 1:200 (BA1)	Date: Feb 2012
Drawn: AJC	Checked: Rev.
1221-5-04	



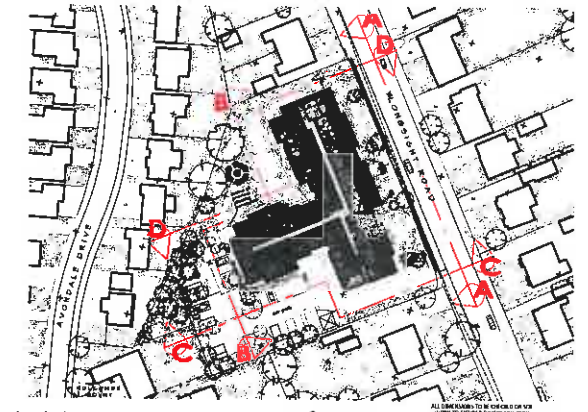
WEST ELEVATION B-B



SOUTH ELEVATION C-C



EAST ELEVATION A-A



KEY MAP



NORTH BOUNDARY ELEVATION D-D



G. L. Day B.Sc., B.Arch., R.I.B.A.
Design Director

York
Tel. 01904 528822 Altricham
Tel. 0151 927 7801



© McCarthy & Stone Residential Landscapes Limited
All rights reserved. The reproduction of all or any part of this
drawing without the written consent of McCarthy & Stone
Residential Landscapes Limited is prohibited. No liability
is accepted for any loss or damage arising from the use
of this drawing for any purpose other than that intended.

Project Title
Col. 11 Sheltered Apartments
Longlight Road
HOUGHBY BROOK

Drawing Title
ELEVATIONS
CONTEXTUAL 2

Scale 1:2000(A) Date: Feb 2003
Drawn: AG Checked:
1221-5-03

Ward: Bury East - Moorside

Item 02

Applicant: Walmersley Golf Club

Location: Walmersley Golf Club, Garrett's Close, White Carr Lane, Bury, BL9 6TE

Proposal: New putting green on the 6th hole

Application Ref: 57303/Full

Target Date: 12/05/2014

Recommendation: Approve with Conditions

Description

The application is part an ongoing programme of improvements to the course. This particular scheme is a result of problems with the existing 6th Green which is becoming more and more unplayable in dryer periods due to the cross slope.

The application site covers an area approximately 35m by 35m and would be within an area of rough ground in and around a copse of trees approximately 15m behind the existing 6th green area and to the south west of the clubhouse. The scheme involves excavations and infilling on site to form the new green with some importation of sand and gravel to form the base.

The proposals would result in the loss of a copse of trees within the site and the application therefore includes a tree report from Tower Forestry. Additionally the site is within 250m of a pond, recorded as a newt breeding area and an ecology report is also included with the proposals.

Relevant Planning History

None relevant.

Publicity

Given the location of the site within the golf course, no neighbours were notified by letter but a site notice was posted.

One objection was received from a member of the golf club on grounds that it involves unnecessary removal of trees and wildlife habitat and that a more appropriate solution would be to re-contour the existing green.

Consultations

Greater Manchester Ecology Unit - No objection in principle. Further surveys should be undertaken.

Unitary Development Plan and Policies

OL1/5 Mineral Extraction and Other Development in the Green Belt

EN9/1 Special Landscape Areas

EN1/1 Visual Amenity

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning

considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Visual amenity and character of the Green Belt - Given the relatively limited scale of earth movements, the location of the site in the midst of the golf course and associated landscaping, the proposed new green would not have a seriously detrimental impact on the landscape and character of the Green Belt. The existing copse of trees are mostly not native and the landscaping and replanting of more appropriate tree species would improve the appearance of the area. The proposal is considered to be acceptable and complies with the NPPF and UDP policies EN1/1 Visual Amenity, OL1/5 Mineral Extraction and Other Development in the Green Belt and EN1/9 Special Landscape Areas.

Trees and Ecology - Whilst many of the trees making up the copse would be removed to accommodate the works, they are mostly non-native pine trees that are in generally poor condition and would deteriorate over time, as stated in the Tree Report. The proposed scheme, indicating the retention of some of the trees and the introduction of new ones, transplanted from other parts of the course, on the south west side of the new green, which is considered to be appropriate. Tree removal should be conditioned such that nesting birds would not be affected.

Although no Great Crested Newts were found on or around the site on the day of the initial survey, the ecology report advises further surveys to be carried out prior to commencement of works and when works commence, they do so under supervision of a suitably qualified ecologist. On this basis, it is considered that the proposal would be acceptable subject to an appropriate condition.

A condition relating to the treatment of Himalayan Balsam is also considered appropriate as there is evidence of invasive species on the site.

Residential amenity - Given the location of the proposed new green, there are no issues relating to residential, amenity arising from the development.

The proposal is considered to be acceptable and complies with UDP policies listed.

Response to objector

The impact on the trees on the site and ecology has been dealt with within the report above.

Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to location plan dated 11/11/13 and drawings - Green Detail and Cross Sections dated 03/02/14 and the development shall not be carried out

except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. Prior to development commencing, a method statement by a suitably experienced amphibian ecologist, setting out a programme of survey work and details of all proposed mitigation measures relating to Great Crested Newts, shall be submitted to and approved in writing by the Local planning Authority. The results of the subsequent surveys shall be submitted to and approved in writing to the Local planning Authority prior to work commencing and all mitigation measures detailed within the Method Statement shall be fully implemented prior to work commencing.

Reason. In order to protect Great Crested Newts pursuant to UDP policy EN6/3 Features of Ecological Importance.

4. No development shall commence until full details of a scheme for the eradication and/or control of Japanese Knotweed (*Fallonica Japonica*, Rouse Decraene, *Polygonum Cuspidatum*) and Himalayan Balsam (*Impatiens Glandulifera*) is submitted to and approved in writing by the Local Planning Authority. The approved management plan shall include a timetable for implementation. Should a delay of more than one year occur between the date of approval of the management scheme and either the date of implementation of the management scheme or the date of development commencing, a further site survey must be undertaken and submitted to the Local Planning Authority.

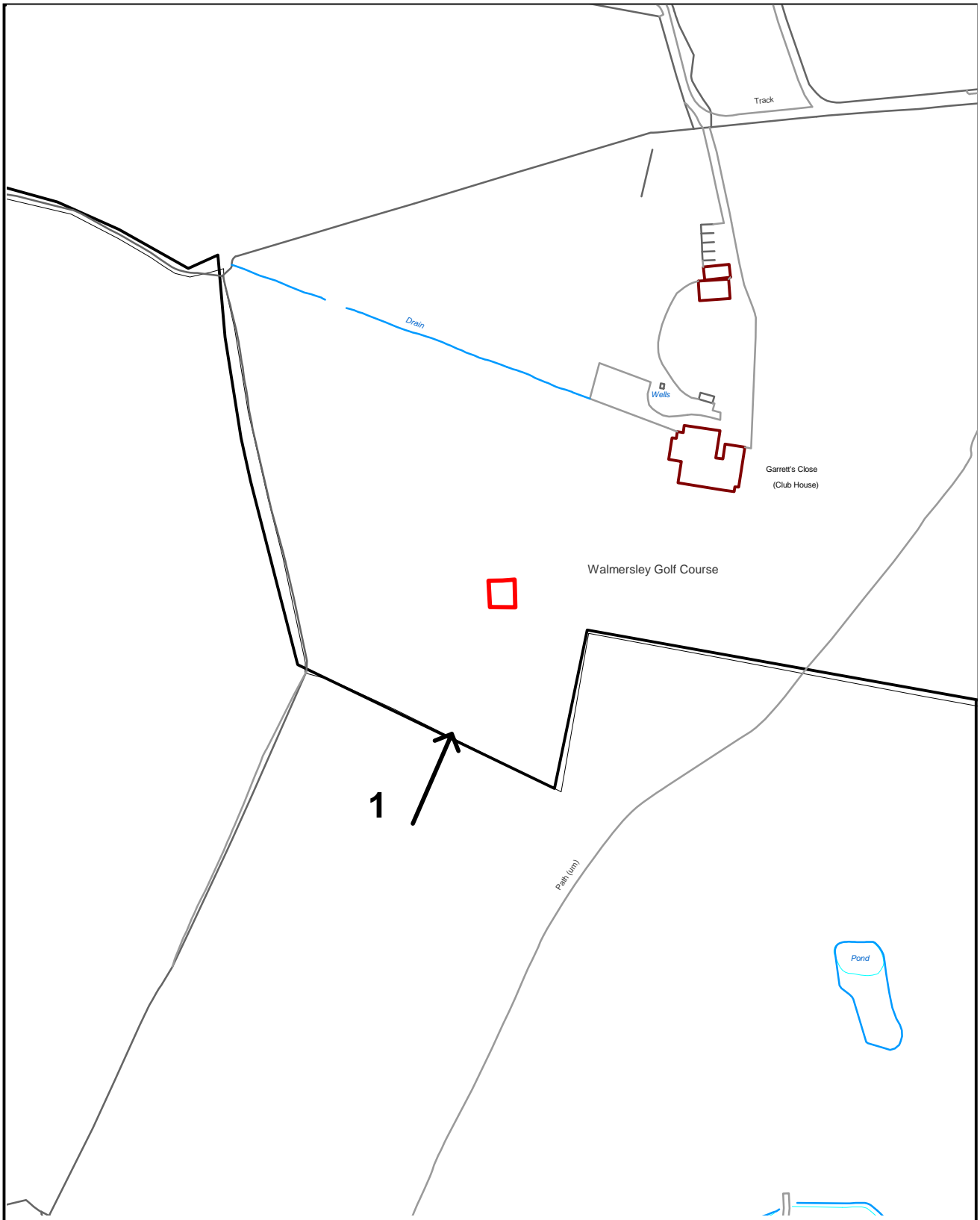
Reason. To ensure that the site is free from Japanese Knotweed and Himalayan Balsam in the interest of UDP Policy EN9/1 - Special Landscape Areas.

5. No trees or shrubs will be removed between the 31st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance and written confirmation provided that no bird nests are present which has been agreed in writing by the LPA.

Reason. In order to protect potential bird nesting sites pursuant ant to UDP policy EN6 - Ecology.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 57303

**ADDRESS: Walmersley Golf Club
Garratt's Close, White Carr Lane
Bury**

Planning, Environmental and Regulatory Services 1:2500



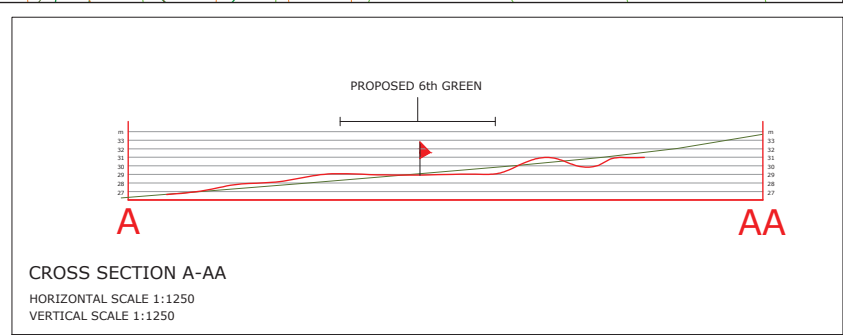
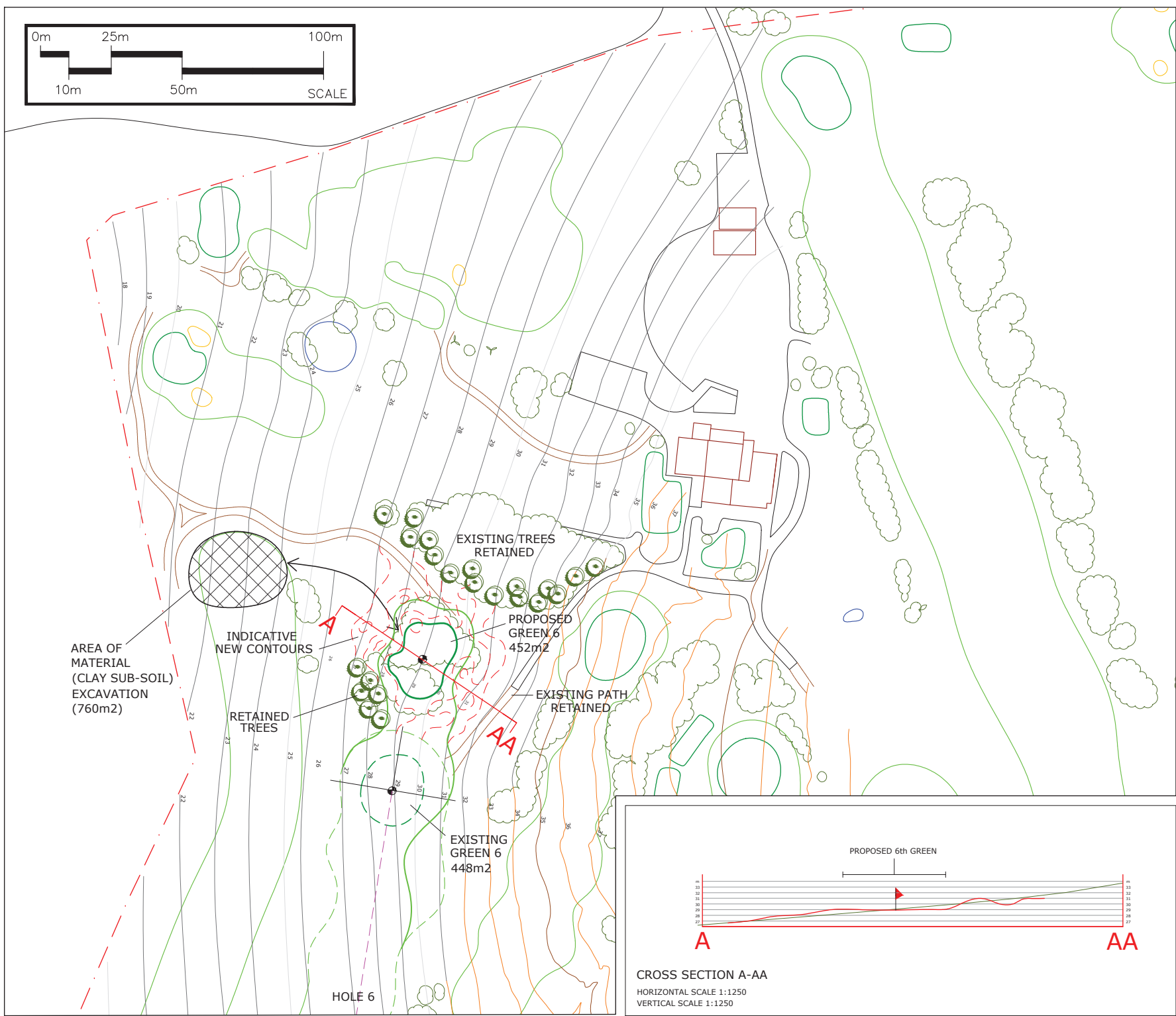
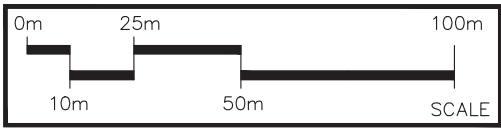
Bury
COUNCIL

(C) Crown Copyright and database right (2013). Ordnance Survey 100023063.

57303

Photo 1





golfmarnoch
International Golf Course Architects

Golf Marnoch Limited
Wicksop View
The Park
Bakewell
Derbyshire
DE45 1ET

Tel: +44 (0)1629 814 891
Mobile: +44 (0)7973 730450
email: steve@golfmarnoch.com
web: www.golfmarnoch.com
Skype name: golfmarnoch +44 161 4084552

Senior Member of the European Institute of Golf Course Architects



EIGCA
EUROPEAN INSTITUTE OF
GOLF COURSE ARCHITECTS

Walmersley Golf Club

Proposed New Green 6

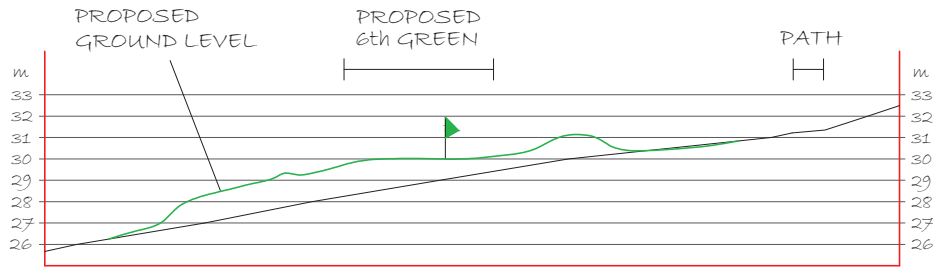
Location Plan

Scale: 1:1250

Date: 11/11/13



CROSS SECTION A-AA

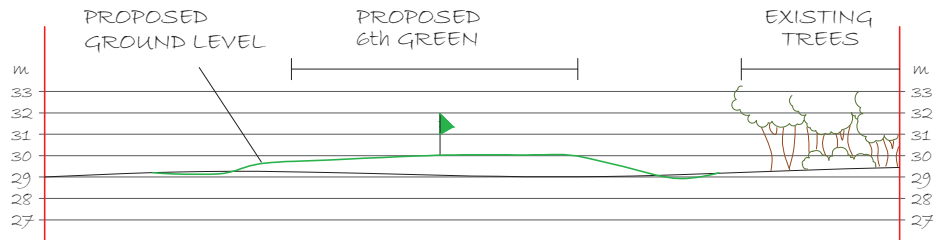


A

HORIZONTAL SCALE 1:500
VERTICAL SCALE 1:250

AA

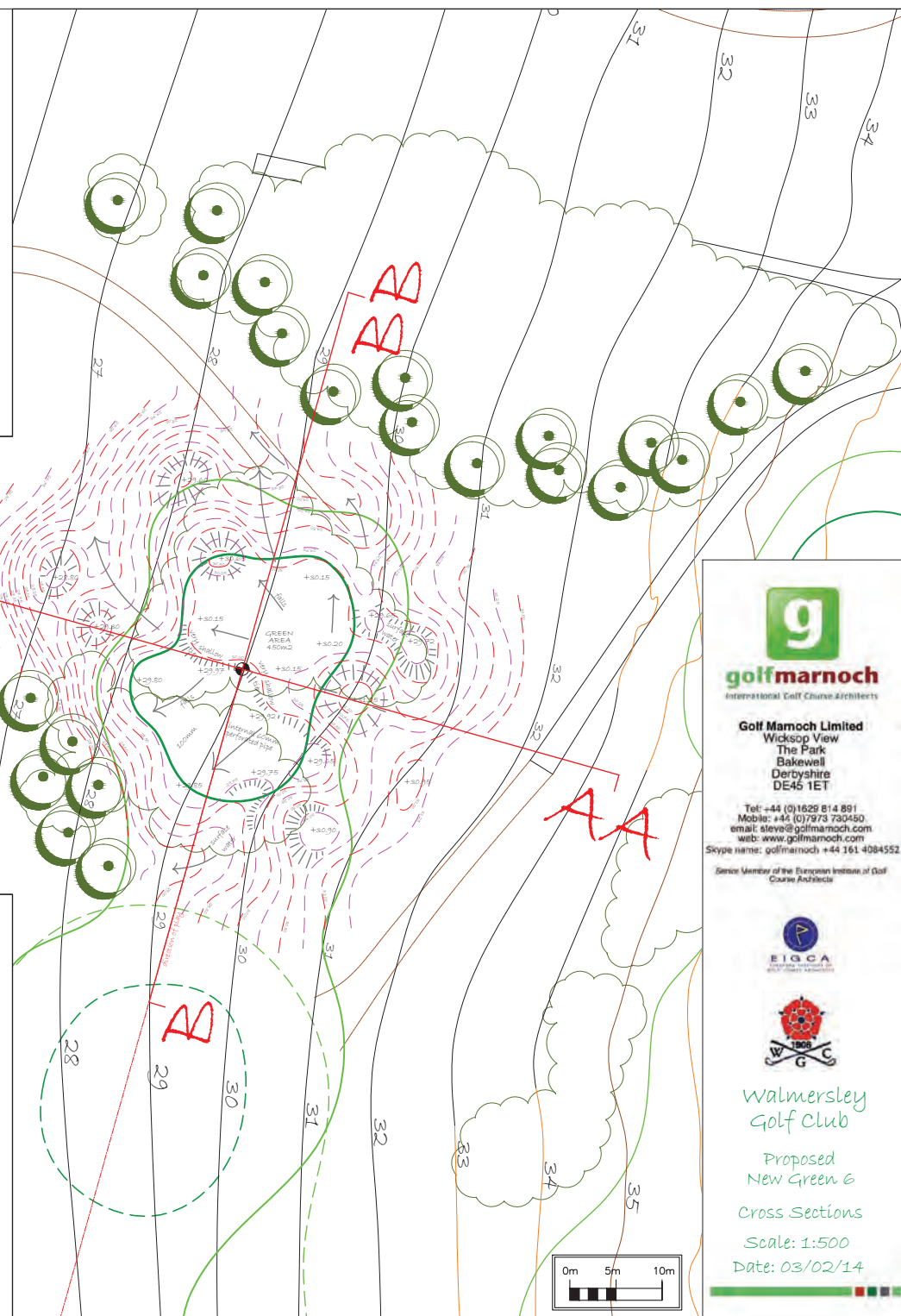
CROSS SECTION B-BB



B

HORIZONTAL SCALE 1:500
VERTICAL SCALE 1:250

BB



golfmarnoch
International Golf Course Architects

Golf Marnoch Limited
Wicksop View
The Park
Bakewell
Derbyshire
DE45 1ET

Tel: +44 (0)1629 814 891
Mobile: +44 (0)7973 730450
email: slev@golfmarnoch.com
web: www.golfmarnoch.com
Skype name: golfmarnoch +44 161 4084552

Senior Member of the European Institute of Golf Course Architects

FIGCA
INTERNATIONAL FEDERATION OF GOLF COURSE ARCHITECTS

WGC
1800

Walmersley Golf Club
Proposed New Green 6
Cross Sections
Scale: 1:500
Date: 03/02/14

Ward: Radcliffe - East

Item 03

Applicant: Bury Council

Location: Land Adjacent to Radcliffe Delivery Office, 12 Dale Street, Radcliffe, Manchester, M26 1AA

Proposal: Provision of a replacement bus station in Radcliffe town centre.

Application Ref: 57325/Full

Target Date: 03/06/2014

Recommendation: Approve with Conditions

Description

The application site 0.8ha comprises an existing town centre car park located to the west of the existing sorting office. The site comprises a level site which is bounded by different boundary treatments, bushes/shrubs and fencing.

The site is located adjoining Pilkington Way and Dale Street, with the access to the station to be taken from Dale Street.

The application is seeking to provide a new permanent bus stop/station facility on the former car park as part of the regeneration proposals relating to the town centre. Should this proposal be accepted and implemented, the former bus station located to the east of the sorting office would be removed and provide a development opportunity for the land.

It would comprise the removal of vegetation and the relaying of hard standing, 3 double bus stands, 1 single bus stand, provision of hard and soft landscaping, ancillary planting and street furniture pedestrian crossing.

Relevant Planning History

01434/E - Refurbishment of existing market hall, including new roof covering, structural repairs, new wall cladding and minor extension to form a cafe - Enquiry completed 18/12/2013

57054 - Refurbishment of the existing Radcliffe Market Hall, including new roof covering, structural repairs, new wall cladding and minor extension to form a cafe - Approve with Conditions 03/02/2014

Publicity

112 Neighbours were notified by letter on 13/3/14 and included commercial and residential properties on Dale Street, Blackburn Street and Deansgate. As a result of this publicity two letters have been received.

One is a comment from J&J Tooling Services who states that the current bus station area is of sufficient size and well positioned. It would be better to use the money available to restore and improve the existing facilities and keep the Delivery Office rather than losing the delivery office and messing about moving the site.

The second is an objection from 37 Marlecroft, Whitefield who objects on the following grounds:

- The proposed re-routing of some buses in both directions along Blackburn Street will add to pollution in the town centre and will be more hazardous for shoppers. Radcliffe has improved as a shopping centre since traffic on Blackburn Street was restricted some years ago. It would be a retrograde step to now revert to heavy traffic moving in both directions along Blackburn Street.

- The proposed arrangement of the bus station means that buses will not be able to enter or leave the station via Pilkington Way. This is a serious and short sighted design error.
- The loss of car parking on the edge of the town centre will increase the number of cars travelling through the town centre. This will increase pollution as well as being inconvenient and dangerous to shoppers and people visiting the Red Bank health centre. It will also be more difficult to find a parking space which will dissuade shoppers from coming into Radcliffe.
- At the moment there appears to be no guarantee that Project 3 will go ahead. Radcliffe does not need any new shop units as there are already many empty units around the town. This being the case, there will be no benefit to Radcliffe in moving the bus station and the development will therefore be a waste of taxpayers money.
- There is currently access by car to the Market Hall from Pilkington Way whether travelling clockwise or anti clockwise along Pilkington Way. The proposed development will preclude access to the Market Hall to vehicles travelling clockwise along Pilkington Way. This will lead to even more vehicles travelling through Radcliffe town Centre.

The respondents have been notified of the Planning Control meeting.

Consultations

Traffic Management - No objections add a condition concerning highway improvement works.

Drainage Section - No objections.

Environmental Health Contaminated Land - No objections subject to conditions relating to land remediation works.

Environmental Health Air Quality - Although the impact of the proposed development on air quality is negligible to slightly adverse the developer should take all reasonably practicable steps to mitigate any negative impact on air quality.

Public Rights of Way Officer - No objections.

Environment Agency - No response.

Greater Manchester Police - designforsecurity - No objections

United Utilities (Water and Waste) - No response.

Electricity North West Ltd - No objections. Add informatives concerning the proximity of ENW operational land or electricity distribution assets.

Unitary Development Plan and Policies

HT3/1	Schemes to Assist Bus Movement
HT3/2	Bus Services
H5/1	Area Improvement
CF1	Proposals for New and Improved Community Facilities
CF1/1	Location of New Community Facilities
HT6/1	Pedestrian and Cyclist Movement
EN1/2	Townscape and Built Design
HT2/5	Public Car Parks
HT6/2	Pedestrian/Vehicular Conflict
EN7/1	Atmospheric Pollution
HT2/6	Replacement Car Parking
EN7/4	Groundwater Protection
EN5/1	New Development and Flood Risk

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - The following UDP Policies are of relevance to the proposal:

HT2/5 - Public Car Parks - The Council will seek to ensure that an adequate level of public car parking provision is made in the town and district centres, but will give priority to the provision of short stay car parking.

HT2/6 - Replacement car parking - The council will require all development proposals to make provision for the replacement of any car parking spaces lost as a result of the development in a location and manner to be agreed with the Local Planning Authority.

HT2/4 - Car Parking and New Development requires all applications for development to make adequate provision for their car parking and servicing arrangements.

HT3/1 - Schemes to assist bus movements - states that the Council will promote and support measures to assist bus movements and will encourage

- highway improvement or traffic management schemes designed to assist bus movement so as to improve operational efficiency;
- the provision of lay-bys, bus turnarounds or other infrastructure designed to make bus operation more efficient and attractive to potential users.

HT3/2 - Bus Services - The Council in conjunction with GMPTE (TfGM) will seek to ensure that adequate infrastructure are provided in all parts of the Borough so that the needs of those persons wishing to travel to or from areas of existing or proposed development are met. This will include

- identifying where improvements may be appropriate;
- promote development locational policies to improve accessibility;
- promote environmental improvements at bus stops.

CF1/1 - Location of New Community Facilities - Proposals for new and improved community facilities will be considered with regard to -

- Impact upon residential amenity and the local environment;
- traffic generation and car parking provision;
- the scale and size of the development;
- where applicable, access to shops and other services.

HT5/1 - Access for those with Special needs including

- provision of marked and protected spaces;
- ramped accesses where appropriate.

HT6/1 - Pedestrian and Cyclist Movement - the Council will see to ensure that pedestrians and cyclists are able to move safely and conveniently, which can be achieved by, amongst others,

- eliminating points of conflict;
- providing direct and convenient routes;
- ensuring that routes are well lit and signed;
- extending pedestrian areas where appropriate;
- ensure schemes recognise the needs of pedestrians and cyclists.

EN1/2 - Townscape and Built Design - Seeks to ensure that development do not have an adverse effect of the particular character and townscape of the Borough's towns and consider -

- external appearance and design in relation to height, scale, density and layout;
- relationship of the proposal to the surrounding area;
- choice and use of materials; access and other design features for the mobility impaired;
- the design and appearance of access, parking and service provision;
- landscaping and lighting.

EN7/1 - Atmospheric Pollution - In seeking to limit atmospheric pollution, the Council will not permit development which -

- would result in unacceptable levels of atmospheric pollution, and/or
- is not compatible with the achievement of the Council's long term air quality standards.

EN5/1 - New Development and Flood Risk - states that new development that results in the increase of risk elsewhere or would adversely affect flood defences will not be supported. In consideration of this the following matters will be considered -

- the impact upon the flood plain;
- the increase of surface water run-off as a result of the proposal;
- the impact upon fluvial plain flood defences;
- the incorporation of mitigation works.

Radcliffe Town Centre Masterplan 2010 and updates - In May 2004 the Council approved the Re-inventing Radcliffe Strategy prepared by a team led by urban designers URBED. This provides an overall vision and development strategy for regenerating the inner Radcliffe area and forms part of the evidence base for the Local Development Framework. As part of this study URBED were asked to produce a number of more detailed projects, one of which was the SUN (Sustainable Urban Neighbourhood) Quarter Development Brief (approved by the Council in April 2005) which dealt with the town centre.

The 2005 SUN Quarter Brief proposals for Radcliffe town centre were based on an apartment led mixed-use development and a developer was selected to bring forward this development through competition in 2007. However, the fall in the housing market during 2007/2008 meant that the developer withdrew from Radcliffe in early 2008 and this has led to a need to reconsider our masterplan for regenerating the town centre based on what might be viable in the current economic conditions.

These previous strategies were updated and in 2010, the process relating to these forming the Radcliffe Town centre Masterplan was commenced. The masterplan proposals were widely consulted upon between January 2010 and February 2011. Within the updated strategy, the Bury Council proposals were to start the regeneration of Radcliffe Town Centre in 2014. Three key components were considered to form part of this strategy, namely -

- Improving Radcliffe market hall
- Radcliffe bus station
- Supermarket/retail scheme

The proposals sought to make a start on the town centre Masterplan from 2010 and the first matter, which has planning permission, involves the improvement inside and outside of the Market Hall. The proposals in the masterplan then involved the bus station relocation (subject to this application), which in turn, would assist to deliver a new supermarket development on the site of the existing bus station and former Kwik Save store.

Given the above policies, the site is a town centre location where such provisions would normally be located that provides access to the town centre and all of its facilities. The proposal has arisen through a properly considered set of proposals in masterplanning terms, that have been through extensive consultation. Therefore subject to detailed consideration of the above policy matters including the design, equal access for all, pollution and flood risk, the principle of the development is acceptable in principle.

Layout and Access - The site is currently used as a car park and sits between the sorting office and Pilkington Way. The access into the proposed bus station would be in the same position as the existing one but would require a new access to be formed out on to Dale Street. The proposed accesses have been assessed and designed to provide sufficient access and egress intervisibility and meet with the Traffic Sections requirements such that they are safe and appropriately located and would comply with policy.

The site is generally level and pedestrian access would be provided to a central landscaped island around which, a number of shelters would be located. There would be a number of

crossings from existing footpath routes from strategic access points and thus the site would be permeable and readily accessible from other functioning parts of the town centre.

Existing bus station - The land would become vacant from its present use were the redevelopment proposals to be accepted and completed. The site is already part of the town centre masterplan, where it is identified for the redevelopment of the site for among other things, a retail development and other town centre uses.

Design and Appearance - The proposed bus shelters are standard shelters used elsewhere within the Borough. However it is understood that a more bespoke design is being worked upon but was not ready for submission. The decision to submit the application ahead of the completion of the new shelters was taken by the applicant together with TfGM and they are full aware that a separate consent of one form or another would need to be secured should the design vary from this application.

That said, the current proposals are in-offensive and are readily seen throughout the Borough and are functional. They would be sited within the island to demark the respective bus stops and would have no adverse impact upon the street scene.

The scheme includes both hard and soft landscaping with a tree to be retained within the site near to the sorting office and a further nine trees to be planted within the site, with seating and demarcated footways. Materials to be used would and can be conditioned to ensure the quality of materials. The use of a condition for these issues to be approved would ensure that the development meets policy EN1/2.

Lighting - The proposals would include new 12m street lights, which would use the LED lighting fittings. These minimise light spillage and are more directional than standard halogen or sodium lighting. This type of lighting has been rolled out by the Council as an effective and sustainable type of lighting that is more energy efficient.

Parking Matters - The proposed site is currently used as a car park and has some 111 spaces and as part of the supporting documentation, a parking survey has been undertaken that looks across parking provision in total within the town and how many spaces were available at a consistent time within the study period. The car parks looked at include the Civic Centre East, Dale Street, Market car park, Green Street, Metrolink and library and the observations were carried out between 12pm and 1pm daily for a week.

The average number of spaces available across the week was 195, with the biggest peak of availability on Monday and Thursday at 223 and 253 spaces respectively.

There is a recognition that there is currently limited availability at the Metrolink and that the spaces there are intended for the Metrolink. However, there will be a small percentage of users that are non-Metrolink related and the numbers of spaces available were small numbers in any event. As such, the Metrolink spaces should be discounted out of the count, which would equate to a deduction of 24 spaces daily on average.

Therefore on this basis the average available spaces would be 171 spaces available within the town. The last proper survey was undertaken in 2010 as part of the previous masterplan studies, which revealed that on average, 63% of spaces were available for use. This figure would indicate that availability for parking in Radcliffe, at that time, was more than sufficient.

The loss of Dale Street would still mean that across the town itself there would still be availability of parking were the 111 spaces from Dale Street lost.

The existing bus station would obviously become a vacant site once relocated should this application be approved. There are currently longer term plans within the Masterplan to redevelop the site as described above. However, the applicant does say that the parking provision within the town will be monitored and the car parking strategy will be developed accordingly.

As such, it is considered that there is sufficient capacity available within the town centre and the Traffic Team have no objections on the basis of the proposals as they stand.

Air quality - The supporting documentation indicates that as a result of the proposals, there would be a marginal increase in air pollution as a result of the new development. This principally relates to potential route changes rather than an increase of vehicles. Planning cannot control the routes for buses and there have been wider decisions made within the Council to open Blackburn street once more, to assist in bringing life into the high street, which is a key Government objective to towns.

Environmental Health Air Quality have identified where the air quality management areas (AQMA's) are within the Borough and in terms of Radcliffe, the main corridor areas following Blackburn street, Deansgate and Pilkington Way are within AQM areas. The main bus operator TfGM, has provided a response to the issue, which was also raised as a point of objection described in the publicity section of this report, that although bus operators are free to decide where and when they operate as well as what buses to use, most of them also rely on TfGM contract work for subsidised bus journeys. Buses operating subsidised services must be no older than 15 years of age and, as most buses provide some subsidised journeys during their working day, this naturally influences the operator's fleet profile.

At present, the average fleet age observed by TfGM on the bus network is 6.2 years and over 70% have engines that comply with Euro IV emission standards or better. We also continue to work with operators to secure Government funding for new technology

Manchester also has the largest fleet of diesel-electric hybrid buses outside of London, with over 280 of these vehicles in service and 3 electric buses on order for delivery this summer. Such an approach is a clear step towards improving sustainable transport (Chapter 4 of the NPPF).

The Environmental Health section has no objections to the proposals and the response provided from TfGM advising how bus operators are contributing to a reduced pollution model for public transport assists in supporting the proposals.

Given the above points and the need to remember that the scheme is a replacement bus station, not an additional one, that routing of buses is not a planning matter and that there is a key Government objective, as clearly stated within the NPPF (para. 23) on supporting the high street and economic activity, which increased activity would assist to create. As such, that the proposals in terms of air pollution are not likely to increase air pollution as a result of the development.

On this basis the development would be acceptable in terms of flood risk considerations in terms of UDP Policy EN7/1 and the NPPF Chapters 2, 4, 8 and 10.

Finance - This point has arisen as an objection in that money would be better spent elsewhere. It is not a matter for planning to determine whether or not this is the case. The planning system is there to look at a proposal, its siting and contribution to planning objectives.

Drainage and Flood Risk - The site is located within the level 2 flood risk zone. The proposal involves provision of hard standing, public realm and carriageway, and does not include any building work or sensitive use. As such it is considered that the development will not require a flood risk assessment as the existing drainage will be re-used and would not be significantly different to in land take to the existing.

The existing system complies with the "Flood and Water Management Act, 2010" requirements in relation to SuDS as it already outfalls to the River Irwell. Preliminary discussions and advice undertaken by the applicant with the Environment Agency have

indicated that they are satisfied that the works will not lead to an increased risk from the river.

On this basis the development would be acceptable in terms of flood risk considerations in terms of UDP Policy EN5/1 and the NPPF Chapter 10.

Response to Objections/Comments - The decision to improve or relocate the existing bus station is a matter for the applicant. The application is a means of assessing the planning implications of such a proposal, not whether the existing site is sufficient or not. In any event, the proposals have arisen out of a masterplan to assist in the regeneration of the town centre and this scheme is one element of those proposals, which needs to be judged on its own merits.

The proposed re-routing of buses involves only those services which approach the bus station from the north along Pilkington Way (services 98,486 & 524). These total no more than 11 buses per hour, which will be re-routed along the section of Blackburn Street which was re-opened to vehicular traffic in 2010. This is a one-way road, and buses will travel in one direction only. The proposal offers the opportunity to improve the situation for passengers wishing to travel to this area of the town centre as it would be possible, if required, to create an additional bus stop for buses travelling to the bus station in the vicinity of New Church Street.

The only buses which travel along Pilkington Way to enter the bus station do so from the north. This movement will be adequately catered for by their re-routing via Blackburn Street and Dale Street. Buses from the Outwood Road, Stand Lane and New Road directions all enter the town centre via Stand Lane. This will not be altered by the proposals.

Whilst the physical arrangements will be altered, the proposal does not preclude access to the Market Hall from Pilkington Way from either direction

Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings and reports including:
 - Design and Access statement dated February 2014
 - Phase II Site Assessment Oct 2006
 - JC Decaux Standard shelter specification
 - 13-709-CBJ-R2 Rev:2 - Street lighting details
 - HS481/050 - Location Plan
 - HS481/051 - General layout plan

- HS481/052 - Adoption proposals
- HS481/053 - Drainage details
- HS481/054 - Site levels details
- HS481/055 - Inner channel longitudinal section
- HS481/056 - Outer channel longitudinal section
- HS481/057 - Cross sections

and the development shall not be carried out except in accordance with the drawings and reports hereby approved.

Reason - For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed within the report.

3. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason - To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

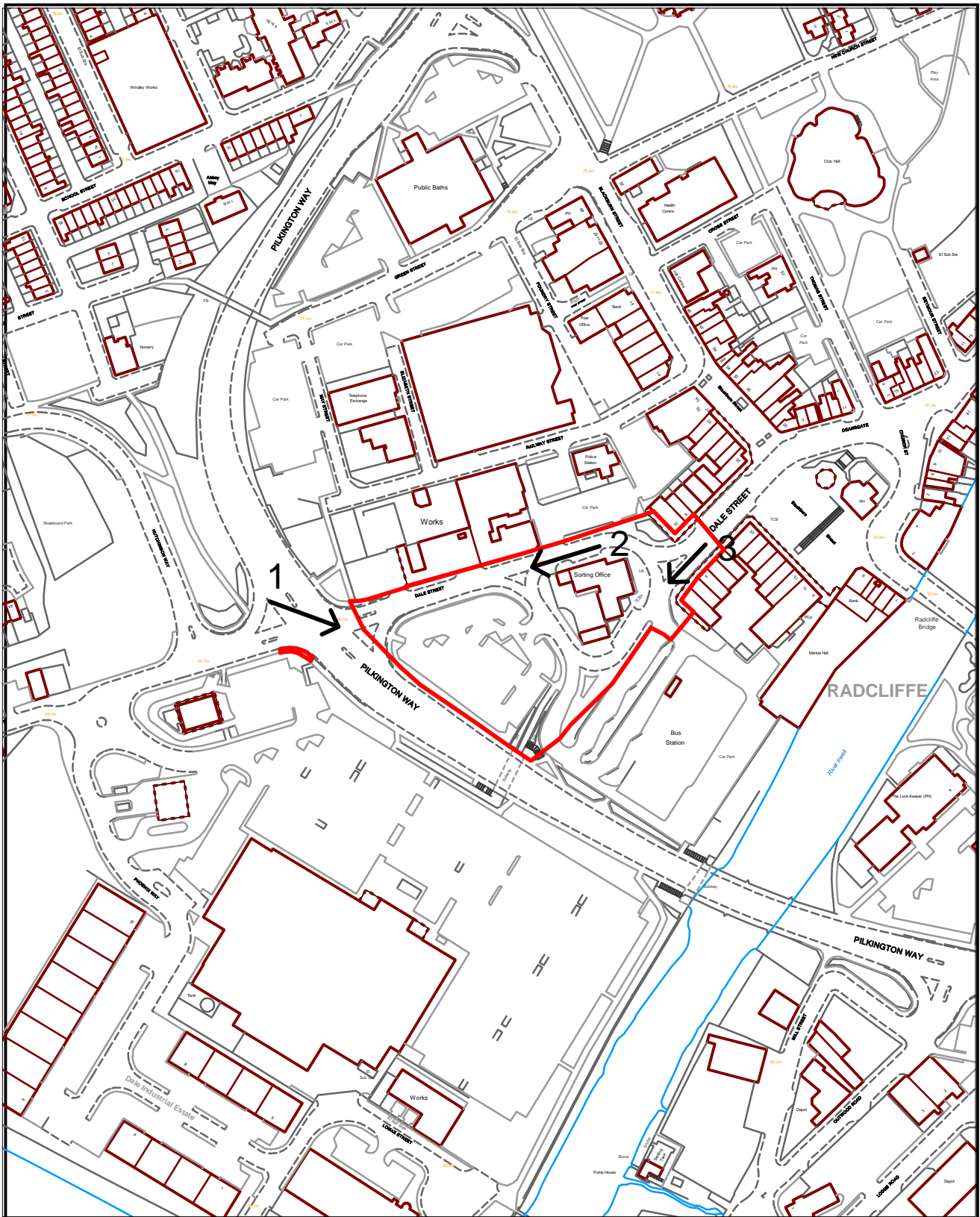
Reason - To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. Notwithstanding the details indicated on approved plan reference HS481/051, no development shall commence unless and until full details of the proposed highway improvement works required to facilitate the replacement bus station and abandon any redundant accesses onto the adopted highway have been submitted to and approved in writing by the Local Planning Authority. The details subsequently approved shall be implemented to the written satisfaction of the Local Planning Authority.

Reason - To ensure good highway design in the interests of highway safety and to maintain the integrity of the adopted highway pursuant to Unitary Development Plan Policies HT3/1 - Schemes to assist bus movements, HT3/2 - Bus Services and HT6/1 - Pedestrian and Cyclist Movement.

For further information on the application please contact **Dave Marno** on **0161 253 5291**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 57325

**ADDRESS: Radcliffe Delivery Office
12 Dale Street
Radcliffe**

Planning, Environmental and Regulatory Services 1:2500

(C) Crown Copyright and database right (2013). Ordnance Survey 100023063.



Bury
COUNCIL

57325

Photo 1

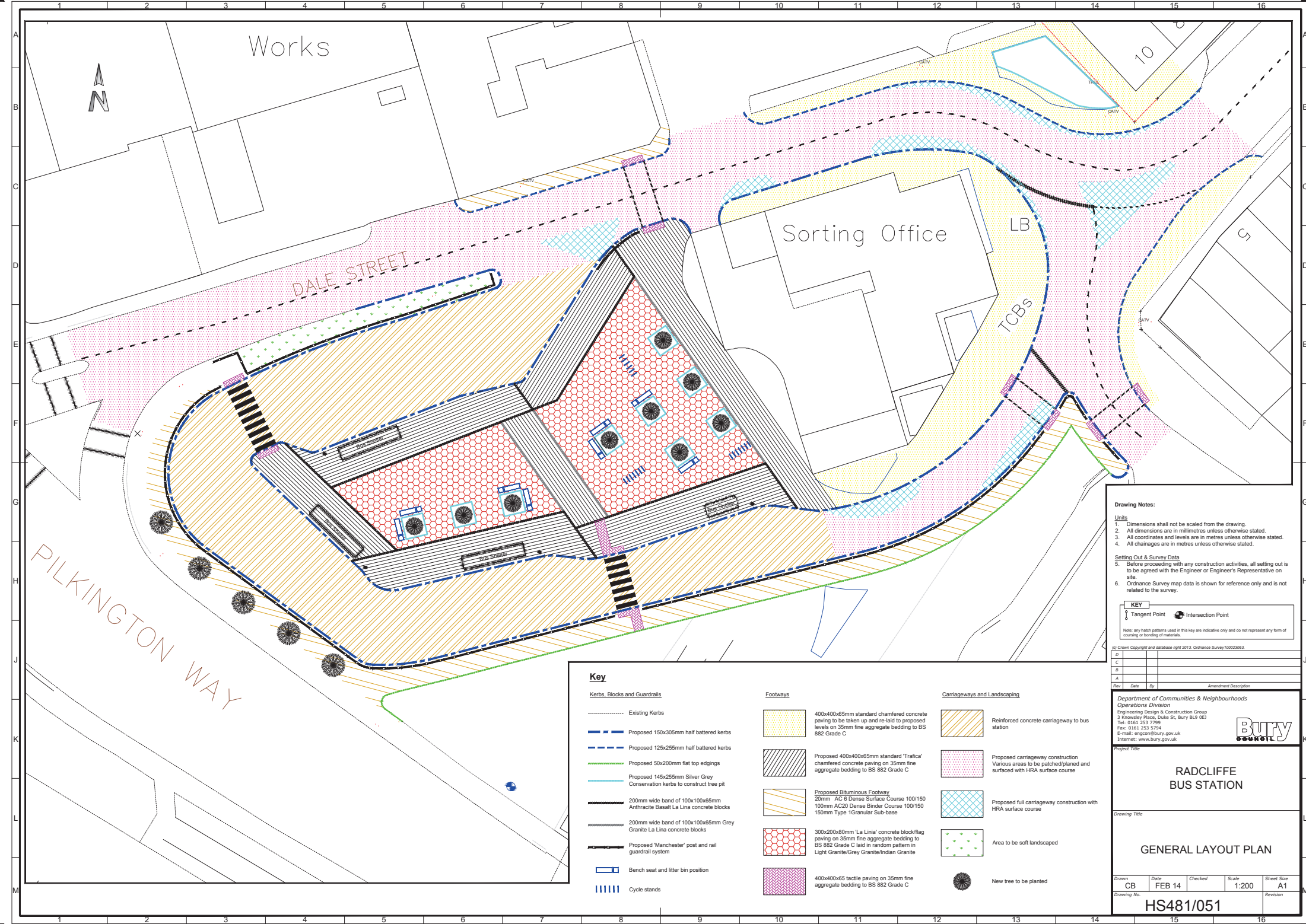


Photo 2



Photo 3





Works

Sorting Office

DALE STREET

PILKINGTON WAY

LB

TCBs

Key		Footways		Carriageways and Landscaping	
-----	Existing Kerbs		400x400x65mm standard chamfered concrete paving to be taken up and re-laid to proposed levels on 35mm fine aggregate bedding to BS 882 Grade C		Reinforced concrete carriageway to bus station
--- --	Proposed 150x305mm half battered kerbs		Proposed 400x400x65mm standard 'Traffic' chamfered concrete paving on 35mm fine aggregate bedding to BS 882 Grade C		Proposed carriageway construction Various areas to be pitched/planned and surfaced with HRA surface course
--- --	Proposed 125x255mm half battered kerbs		Proposed Bituminous Footway 20mm AC 6 Dense Surface Course 100/150 100mm AC20 Dense Binder Course 100/150 150mm Type 1 Granular Sub-base		Proposed full carriageway construction with HRA surface course
-----	Proposed 50x200mm flat top edgings		300x200x80mm 'La Linie' concrete block/tag paving on 35mm fine aggregate bedding to BS 882 Grade C laid in random pattern in Light Granite/Grey Granite/Indian Granite		Area to be soft landscaped
-----	Proposed 145x255mm Silver Grey Conservation kerbs to construct tree pit		400x400x65 tactile paving on 35mm fine aggregate bedding to BS 882 Grade C		New tree to be planted
-----	200mm wide band of 100x100x65mm Anthracite Basalt La Lina concrete blocks				
-----	200mm wide band of 100x100x65mm Grey Granite La Lina concrete blocks				
-----	Proposed 'Manchester' post and rail guardrail system				
	Bench seat and litter bin position				
	Cycle stands				

Drawing Notes:

- Dimensions shall not be scaled from the drawing.
- All dimensions are in millimetres unless otherwise stated.
- All coordinates and levels are in metres unless otherwise stated.
- All chainages are in metres unless otherwise stated.

Setting Out & Survey Data

- Before proceeding with any construction activities, all setting out is to be agreed with the Engineer or Engineer's Representative on site.
- Ordnance Survey map data is shown for reference only and is not related to the survey.

KEY

Tangent Point Intersection Point

Note: Any hatch patterns used in this key are indicative only and do not represent any form of coursing or bonding of materials.

(c) Crown Copyright and database right 2013. Ordnance Survey 100023963.

Rev	Date	By	Amendment Description

Department of Communities & Neighbourhoods
 Operations Division
 Engineering Design & Construction Group
 3 Knowlsey Place, Duke St, Bury BL9 0EJ
 Tel: 0161 253 7759
 Fax: 0161 253 5794
 E-mail: engcon@bury.gov.uk
 Internet: www.bury.gov.uk



Project Title
RADCLIFFE BUS STATION

Drawing Title
GENERAL LAYOUT PLAN

Drawn CB	Date FEB 14	Checked	Scale 1:200	Sheet Size A1
Drawing No. HS481/051	Revision			

STANDARD SHELTER

DIMENSIONS

Roof	
Length	4000 mm
Width	1600 or 1300 mm
Height above ground	2300 mm

Ground	
Length	3580 mm
Width	1300 mm

COMPONENTS

Structure

- Galvanized steel anchor sleeves.
- Galvanized steel roof supports with provision for power cables and water outlet.
- Painted steel angle roof support.

Roof:

The polyester roof comprises:

- a reinforced lining with a boss for a recessed light,
- an outer skin with an outlet,
- a plastic moulding.

Glazing:

- 10-mm-thick Securit rear wall (Durlux impression or transparent).
- stainless steel ground and roof anchors.

Advertising panels:

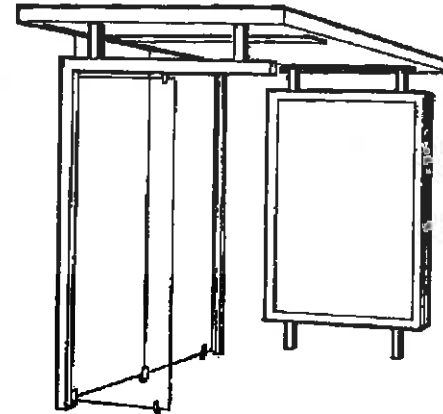
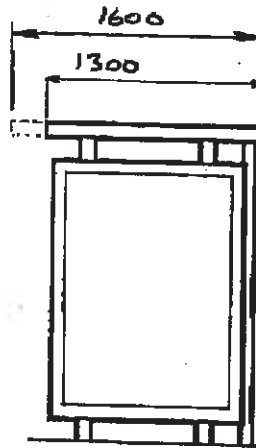
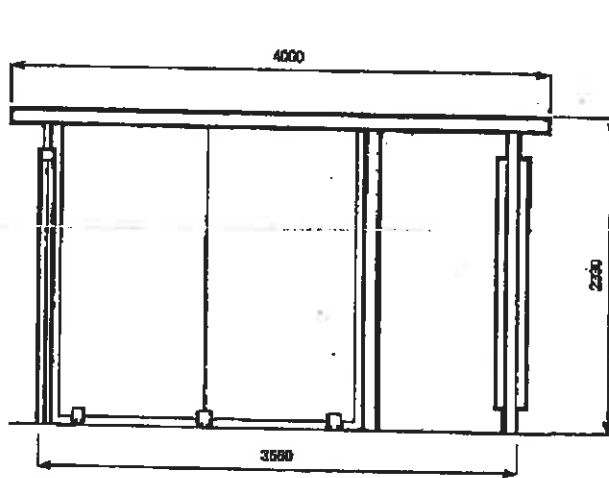
Overall dimensions	1850 x 1300 mm
Display surface	1710 x 1160 mm

The advertising panel comprises:

- one fixed and two movable enamelled extruded aluminium elements.
- 8-mm-thick Securit protective panels.
- methacrylate advertising supports.
- accessories (hinges, locks, clips, etc.).

Electrical equipment:

- three 58W fluorescent lamps for the advertising panel,
- one 36W fluorescent lamp in the roof,
- standardized power supply, connection and safety fittings (including a differential switch).



STANDARD SHELTER (4000 x 1600 mm)

J.C.O.



JCDecaux

JCDecaux

Centre North
Water City

Line 1	...
Line 2	...
Line 3	...



Bus stop bench

Ward: Ramsbottom and Tottington -
Ramsbottom

Item 04

Applicant: Mr D & Mrs A Kenyon

Location: Hollingrove Stables, Redisher Lane, Hawkshaw, Bury, BL8 4HX

Proposal: Conversion of stables to dwelling; single storey extensions at side and rear and porch to front elevation (resubmission)

Application Ref: 57344/Full

Target Date: 02/05/2014

Recommendation: Minded to Approve

This application was deferred from the previous Planning Control Committee for a site visit.

It is recommended that this application is Minded to Approve subject to the signing and completion of a deed of variation to link the application to the Section 106 agreement from the previously approved application (55070). Should the agreement not be signed and completed within a reasonable period, it is requested that the application be determined by the Development Manager.

Description

The site contains two single storey buildings, which have both been used as stables. The large one is an L-shaped building and is constructed from stone and render with a slate roof. The second smaller building is constructed from timber and is located to the south of the large stone building. The land slopes away to the south and as such, the timber stables is some 0.6 metres lower than the stone stables building. There is a large area of hardstanding to the east of the site and a block paved area in front of the stables building. The site is accessed from Redisher Lane, which forms the boundary to the north of the site.

There is a cluster of dwellings located to the north of the site (on the opposite side of Redisher Lane. Two (The Old Farmhouse and Hollingrove Farm) are Grade II listed and all are constructed from stone and slate. These are 30 and 42 metres away respectively.

Planning permission was granted in November 2012 for the conversion of the stone stables building to a dwelling. The stone stables are to be extended by 1.1 metres to meet the existing overhang of the roof and a porch added to the eastern elevation. The existing timber stables would be demolished with the site being accessed from Redisher Lane.

This proposed development involves the conversion of the stables building to a dwelling with single storey extensions to the side and rear and a porch to the front. The proposed side extension would replace the existing timber stables and the floor level of the proposed rear extension would be at a lower level than the main stables building. The proposed porch would be located centrally within the eastern elevation of the extended building. The proposed dwelling would be accessed from Redisher Lane and part of the existing hardstanding would be retained to provide 2 parking spaces.

Relevant Planning History

36605 - Stable block at land to southwest of Hollingrove Barn, Redisher Lane, Hawkshaw. Approved with conditions - 7 July 2000.

46359 - Construction of manege with lighting at land to south west of Hollingrove Barn, Redisher Lane, Hawkshaw. Refused - 17 October 2006.

55070 - Conversion of stables to dwelling at Hollingrove Stables, Redisher Lane, Hawkshaw. Approved with conditions - 28 November 2012.

57021 - Conversion of stables to dwelling; single storey extensions at side and rear and porch to front elevation at Hollingrove Stables, Redisher Lane, Hawkshaw. Withdrawn - 17 February 2014.

Adjacent sites

36385 - Two storey side extension at the Old Farmhouse, Hollingrove Farm, Redisher Lane, Hawkshaw. Approved with conditions - 30 May 2000.

36386 - Listed building consent: two storey extension at the Old Farmhouse, Hollingrove Farm, Redisher Lane, Hawkshaw. Approved - 30 May 2000.

38519 - Two storey extension at side/rear; detached double garage with first floor in roof area at rear at Redbrook, Redisher Lane, Hawkshaw. Approved with conditions - 4 January 2002.

41653 - Single storey extension at front; two storey extension at rear at 2 Redisher Lane, Hawkshaw. Approved with conditions - 24 March 2004.

49798 - Two storey side extension at Hollingrove Farm Cottage, Redisher Lane, Hawkshaw. Approved with conditions - 27 May 2008

50489 - Two storey side extension (revised scheme to 48302) at Dandy Hall, Redisher Lane, Hawkshaw. Approved with conditions - 9 October 2008.

52286 - Single storey extension at rear at Redbrook, Redisher Lane, Hawkshaw. Approved with conditions - 20 April 2010

Publicity

12 neighbouring properties were notified by means of a letter on 7 March and a press notice was published in the Bury Times on 13 March. Site notices were posted on 14 March 2014.

5 letters of support have been received from the occupiers of Hollingrove Barn, 263 Holcombe Road, 496 Bolton Road West, which have raised the following issues:

- Support the development and feel that it would not cause any harm to the area.
- The design is in keeping with the area and would have minimal impact on the Green Belt.
- The modest increase would make a much more useable building and the rear extension would be almost out of sight.
- The existing building has not been maintained and the proposed alterations would be better for the area.

3 letters of objection have been received from the occupiers of Dandy Hall, Redbrook, Graham Bolton Partnership on behalf of the Old Farmhouse, Hollingrove Farm, which have raised the following issues:

- No details have been provided of the drainage and septic tank.
- The proposed materials are inappropriate especially for a conservation area.
- The proposal is an obtrusive modern bungalow of poor architectural merit.
- The stables have been used to house animals within the past year.
- The wooden structure should not be calculated as part of the volume.
- The increase in floor area should not be accepted.
- Conditions were placed on the previous consent to prevent any further extensions and this development breaches that.
- The proposed dwelling is larger than the previously approved scheme and would conflict with Policy OL1/4 and SPD9.

- Adverse impact upon the openness of the Green Belt.
- The garden curtilage would be enlarged and the hardstanding would be increased.

The supporters and objectors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections, subject to the inclusion of conditions relating to residential sprinklers, turning facilities and car parking.

Drainage Section - No objections, subject to the inclusion of a condition relating to surface water drainage and foul drainage.

Environmental Health Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land.

Public Rights of Way Officer - Comments awaited.

Waste Management - Comments awaited.

GM Fire Service - No objections, subject to the inclusion of a condition relating to residential sprinklers.

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN2/3	Listed Buildings
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/5	Waste Water Management
EN9/1	Special Landscape Areas
OL1/4	Conversion and Re-use of Buildings in the Green Belt
RT2/2	Recreation Provision in New Housing Development
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
SPD1	Open Space, Sport and Recreation Provision
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD 9	Conversion and Re-use of Buildings in the Green Belt
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned. Note that the report has been updated since originally presented to the PCC in April 2014.

Principle - The National Planning Policy Framework (NPPF) states that the re-use of buildings within the Green belt would not be inappropriate development providing that they are of permanent and substantial construction.

Policy H1/2 states that all new residential development should make a positive contribution to the surrounding area and should have regard to the heights and roof types of adjacent buildings, the position and proximity of neighbouring dwellings and the density and

character of the surrounding area.

Policy OL1/4 states that the conversion and re-use of buildings within the Green Belt will be permitted providing that the proposal would not have a materially greater impact than the present use upon the openness of the Green Belt; the buildings are capable of conversion without major or complete reconstruction; the form, bulk and general design are in keeping with the surroundings and suitable access and the likely traffic can be accommodated without creating a hazard or the need for major road improvements.

The existing stone building is structurally sound and is capable of conversion. The proposed use would not have a materially greater impact than the present use upon the openness of the Green Belt and it should be noted that there is an extant permission for conversion to a dwelling.

The proposed development would involve three extensions - a side extension, a rear extension and a porch extension to the front. Based on the existing stone stables only, the proposed extensions would result in a volume increase of 44% including the area within the overhang and 67% excluding the area within the overhang.

SPD9 states that buildings should be preserved in their original form and should be large enough for conversion without the need for substantial and alien new extensions. If an addition is unavoidable, extensions should be a subsidiary element of the building and should be simple, small and unobtrusive. Extensions should be proportionate to the size of the building and in general terms, the Council may allow an extension to be up to a third of the volume of the original dwelling. However, each proposal will be considered on its own merits.

Given the volume increase of 44% or 67%, depending upon the interpretation of volume, the proposed extensions would result in an excess of 33% and therefore, should be assessed accordingly with regard to the impact upon the openness and character of the Green Belt.

The proposed side extension would be attached to the existing stone stables building and partially located on the footprint of the timber stables building, which is to be demolished. It is acknowledged that the timber stables is not capable of conversion, it is an existing building and has an impact upon the openness of the Green Belt. The proposed side extension would be smaller in terms of footprint than the existing timber stables and would be attached to the existing stone stables, thereby still relating to a building capable of conversion and given the single storey design, scale and mass, an extension in this location of 4.9 metres would not have any significant impact upon the openness of the Green Belt.

The proposed rear extension would be some 0.8 metres lower than the existing building. In addition, given that the adjacent highway is elevated to the existing stables building, as such, only the top section of the proposed rear extension would be visible and would be viewed against the backdrop of the existing building. Therefore, the proposed rear extension would not have an adverse impact upon the openness and character of the Green Belt.

The proposed porch would be 4.4 square metres, which would be 2.2 square metres smaller than the previously approved porch. The proposed porch would be located on the front elevation and would be viewed against the existing building. As such, the proposed porch would have less of an impact upon the openness and character of the Green Belt than the previously approved scheme.

The issues of form, bulk and design, access and traffic will be discussed later in the report. While the proposed extensions would represent an increase in the volume of the existing stables building above a third, they would not have a significant adverse impact upon the openness of the Green Belt and as such, would not cause harm to the character and appearance of the Green Belt. It should be noted that the Council has adopted this

approach consistently within the surrounding area, which is verified in the planning history section. Therefore, the proposed development would be in accordance with Policies H1/2 and OL1/4 of the Unitary Development Plan and NPPF.

Layout/Design/Conservation Area - The existing building was constructed with the roof overhanging the front elevation of 1.1 metres. The proposed development would extend the walls by 1.1 metres to sit underneath the roof. The stable door openings would be retained as windows and the number of new openings (5 windows and 7 rooflights) within the existing has been kept to a minimum. As such, the majority of the proposed openings would relate to the existing openings and the design of the proposed development would retain the character of a stables building.

The proposed rear extension would measure some 2.5 metres deep by 15 metres wide and has been designed as a 'lean-to' type structure. As stated above, only the top section would be visible from the adjacent access road.

The proposed rear extension would be constructed from a brick plinth, horizontal timber cladding and a slate roof. Given the topography of the surrounding land, the brick element of the proposed extension would not be visible. The use of timber cladding makes it clear that this is a new addition to the building and the slate roofing as a material would be acceptable. The proposed rear extension would be viewed against the backdrop of the existing building and as such, would not be a prominent feature within the locality or harm the openness of the Green Belt.

The proposed side extension would be located to the south of the existing stone building and would measure 5.4 metres by 4.9 metres. The proposed extension would incorporate floor to ceiling windows, which would reflect the character of the existing building and would be constructed from horizontal timber cladding with a slate roof to match the existing building. The choice of materials would be appropriate to a conservation area and to the open countryside but would make clear that the proposed extension is an addition to the building. The proposed extension would not be a prominent feature within the locality.

The proposed porch would be smaller than the previously approved porch and would be similar in design to the previously approved porch. The proposed porch has been relocated to create a visual break between the existing building and the proposed extension.

Overall the proposed extensions would represent an increase in volume of 44% (67%). However, given the position of the proposed extensions, it is considered that the proposed development would not appear over dominant and would not have a significant adverse impact upon the visual appearance of the building in the Green Belt.

Impact upon the surrounding area - The Planning (Listed Buildings and Conservation Areas) Act 1990 state that there is a duty to preserve or enhance the character and appearance of a Conservation Area and listed building. The duty to preserve or enhance a heritage asset is continued in the guidance within Chapter 12 of the National Planning Policy Framework. The proposed development would amend an existing permission and the proposed changes and extensions as described and assessed above would preserve the character of the Conservation Area and the adjacent listed building.

The immediate land surrounding the stables building is hardstanding and block paving, although it is acknowledged that grass has begun to grow through in some areas.

The residential curtilage would be drawn around the proposed building and the existing hardstanding area to the north of the access would be retained and used for parking. This would represent a increase of 48 square metres when compared to the approved residential curtilage under application 55070. However, both represent a decrease overall in hardstanding when compared with what is there as stables. Given that the area for parking is already hardstanding, the proposed development would not materially impact any further upon the openness or character of the Green Belt and would preserve the character of the

conservation area. Given that the proposed building would be extended and considering the extent of the curtilage, it is proposed to remove permitted development rights to ensure any subsequent extensions are appropriate in terms of design and size. This would be secured by a condition.

Therefore, the proposed development would be acceptable in terms of design and would be in accordance with Policies EN1/1, EN1/2, OL1/4 and H2/1 of the Unitary Development Plan.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between residential properties and is relevant in this case. The SPD states that there should be a minimum of 20 metres between directly facing habitable windows and 13 metres between habitable room windows and a two storey blank wall.

There would be 27 metres from the proposed dwelling to the nearest residential dwelling, which would be in excess of the aspect standards. The proposed opening to bedroom 3 would be close to the boundary of the site, but would be located at a lower level to the adjacent access. A rooflight would provide additional light to this room and as such the proposed development would not prevent any redevelopment potential of the adjacent land and is therefore policy compliant.

Therefore, the proposed development would not have an adverse impact upon the amenity of the neighbouring residents and would not prevent redevelopment of the adjacent site.

Highways issues - The proposed development would be accessed from Redisher Lane, which serves 18 dwellings and approx 8 holiday lets, as per the approved scheme. As the proposed dwelling would be located over 250 metres from the single access point, residential sprinklers would be required and this would be secured by a condition.

The existing stables would have generated some traffic, albeit occasional movements. The proposed development is likely not to result in a significant increase in traffic along the access and as such, given the modest scale of the development would be acceptable. The Traffic Section has no objections to the proposal, subject to the inclusion of conditions relating to turning facilities, car parking and residential sprinklers. Therefore, the proposed development would not be detrimental to highway safety.

Parking - SPD11 states that the maximum parking standards should be 2 spaces per 3 bedroom dwelling. The proposed development would provide 2 parking spaces, which would comply with the maximum. Therefore, the proposed development would comply with Policy HT2/4 of the Unitary Development Plan and SPD11.

Planning obligations - A deed of variation is sought to link this application to the Section 106 agreement for the previous application (55070) relating to recreational provision in accordance with SPD1.

Response to objectors

The issues relating to design, impact upon the conservation area and listed buildings, materials, the volume increase and the impact upon the openness and character of the Green Belt have been addressed in the main report.

The hedges on site are not protected by a Tree Preservation Order and as such, there are no restrictions placed upon the landowner. The boundary of the site has been revised to ensure no land belonging to the MOD is included within the application site.

The proposed parking area is currently hardstanding and as such, the proposed development would not increase the amount of hardstanding when compared to existing levels.

The details of surface water drainage and the septic tank arrangements would be secured

by condition.

Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Minded to Approve

Conditions/ Reasons

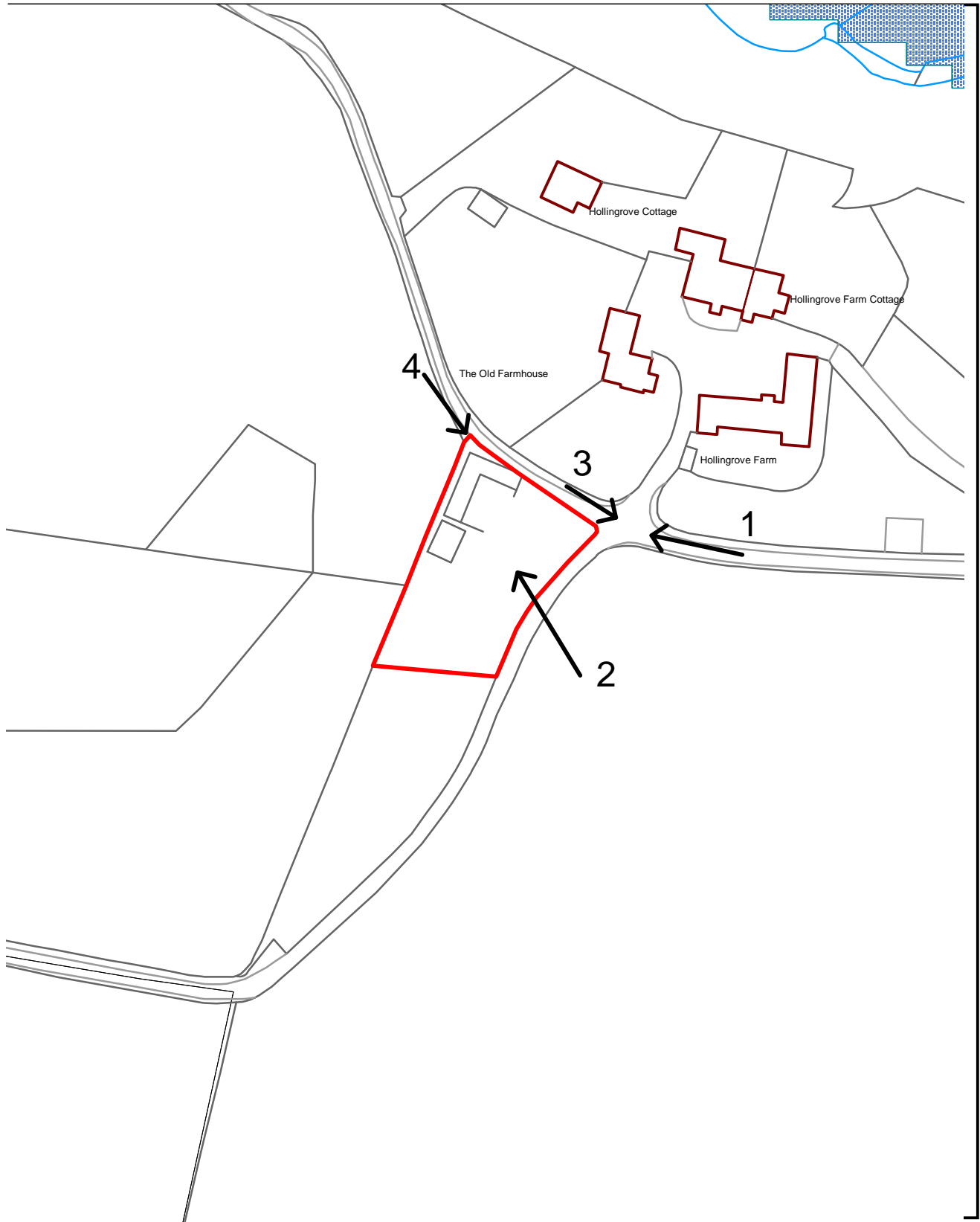
1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered AD1301 01 A, AD1301 02 D, AD1301 03 D, AD1301 06 E, AD1301 07 A, AD1301 08 D, AD1301 10 A, AD1301 11 D, AD1301 15 C and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and;
The approved contamination testing shall then be carried out and validatory evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
4. If during any works on site, contamination is suspected or found, or contamination is caused, the Local Planning Authority shall be notified immediately. Where required, a suitable risk assessment shall be carried out and/or any remedial action shall be carried out in accordance to an agreed process and within agreed timescales to the approval of the Local Planning Authority.
Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. No works shall be carried out to the trees that would disturb nesting birds between 1st March and 31st August inclusive in any year unless otherwise agreed in writing with the Local Planning Authority.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural

environment.

6. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
7. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) Order 1995, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 of the Order, without the prior written consent of the Local Planning Authority.
Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.
8. The development hereby approved shall not be commenced unless and until full details of proposals to install residential sprinkler systems to BS 9251:2005 or equivalent standard, as required by the Greater Manchester Fire and Rescue Service to overcome the site's emergency access deficiencies, have been submitted to and approved in writing by the Local Planning Authority. The details subsequently approved shall be implemented to the written satisfaction of the Local Planning Authority before the dwelling is first occupied.
Reason. In the interests of fire safety and to accord with Bury Unitary Development Plan Policy H2/2 - The Layout of New Residential Development.
9. The turning facilities indicated on approved plan reference AD1301 03 Revision B shall be provided before the development is first occupied and the areas used for the manoeuvring of vehicles shall be subsequently maintained free of obstruction at all times.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.
10. The car parking indicated on approved plan reference AD1301 03 Revision B shall be surfaced, demarcated and made available for use to the written satisfaction of the Local Planning Authority prior to development hereby approved being occupied and thereafter maintained at all times, unless otherwise agreed in writing with the Local Planning Authority.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
11. Notwithstanding the approved site plan, there shall be no additional hardstandings within the open areas in the residential curtilage.
Reason. To protect the visual amenity of the area pursuant to Policy EN1/2 - Townscape and Built Design of the Bury Unitary Development Plan.
12. Prior to the commencement of development, details relating to the proposed boundary treatment for the site shall be submitted to and approved in writing by the Local Planning Authority. The approved details only shall be implemented as part of the approved development.
Reason - To secure the satisfactory development of the site and in the interests of the visual amenities of the area pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
13. No development shall commence unless or until details of surface water aspects,

including an assessment of potential SuDS options and an assessment of the adequacy of the septic tank for foul drainage, has been submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to first occupation of the dwelling hereby approved.
Reason. To ensure a satisfactory form of drainage pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**



PLANNING APPLICATION LOCATION PLAN

APP. NO 57344

**ADDRESS: Hollingrove Stables, Redisher Lane
Hawkshaw**



Planning, Environmental and Regulatory Services 1:1250

(C) Crown Copyright and database right (2013). Ordnance Survey 100023063.

57344

Photo 1



Photo 2



57344

Photo 3



Photo 4

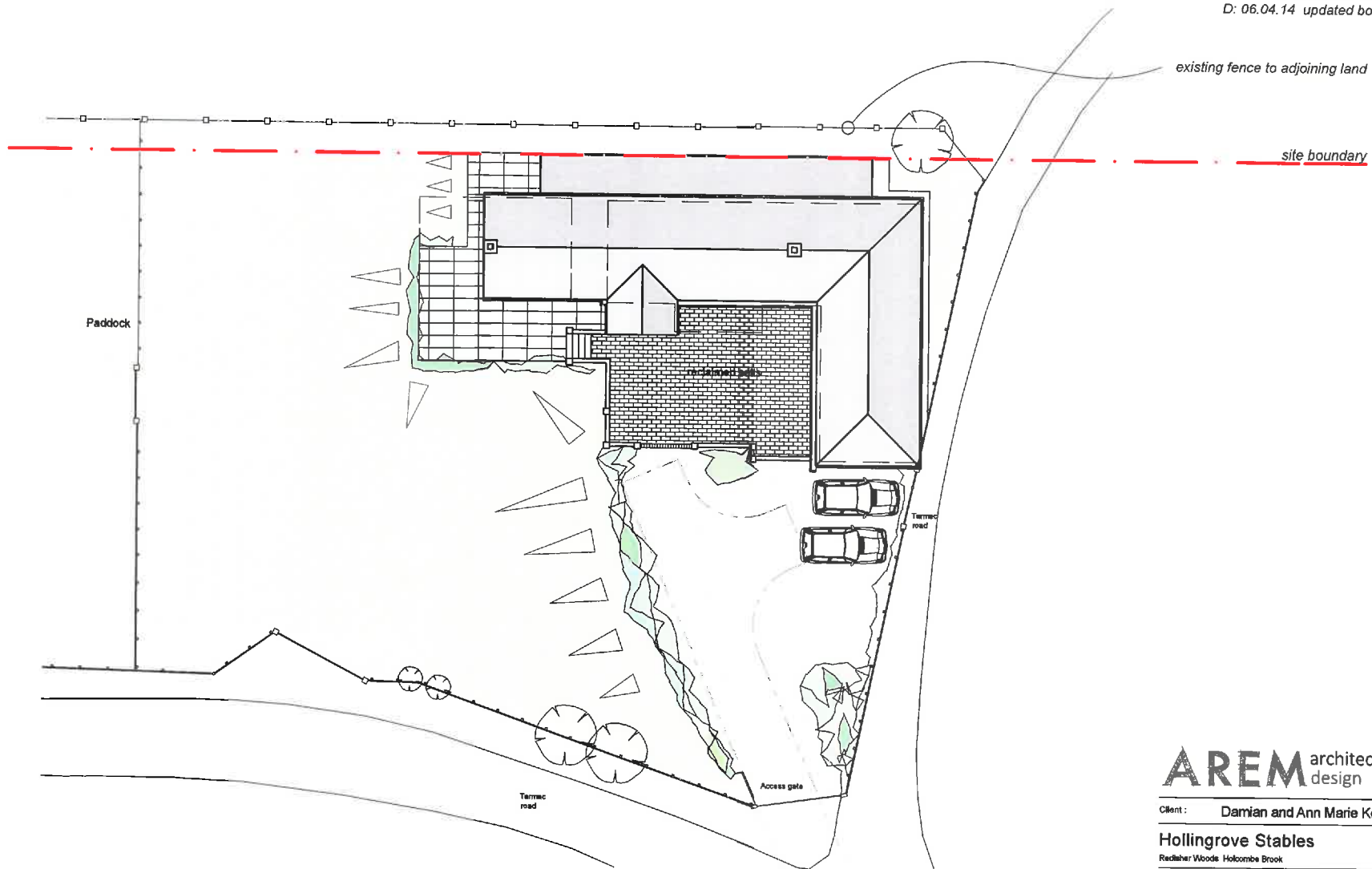


All dimensions to be checked on site before commencement of works. Do not scale from this drawing. Any discrepancies are to be notified to the Architect/Designer immediately IF IN DOUBT - ASK! Unless otherwise stated all dimensions are given in millimetres.

revisions:

C: 12.01.14 site boundary indicated

D: 06.04.14 updated boundary



AREM architectural design

Client: Damian and Ann Marie Kenyon

Hollingrove Stables

Reddish: Woods Holcombe Brook

Sheet: Proposed Site Plan

Drawing No:	AD1301	03	D
-------------	--------	----	---

scale: 1:200 @A3

8 Mint Street

Ramsbottom

Bury

BLD OPE

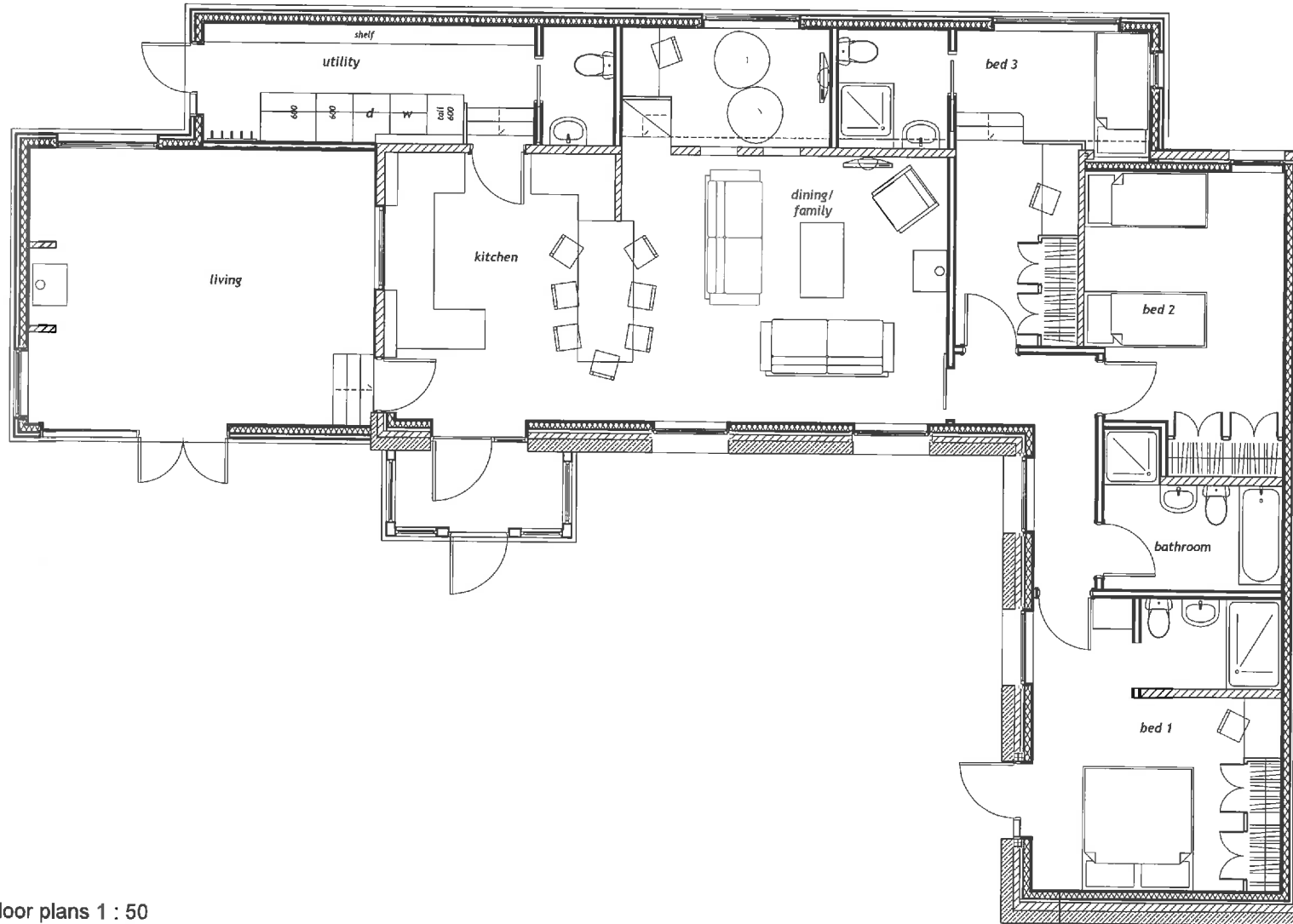
07715535188

drawn: check: cmma.arendesign@gmail.com

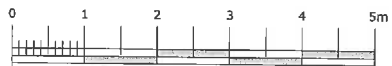
© ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/DESIGNER, AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/DESIGNER.

All dimensions to be checked on site before commencement of works. Do not scale from this drawing. Any discrepancies are to be notified to the Architect/Designer immediately **IF IN DOUBT - ASK!**
 Unless otherwise stated all dimensions are given in millimetres.

- revisions:
- B: 06.12.13: extension reduced following pre-app feedback
 - C: 14.01.14 rear extension reduced in width to fall within agreed site boundary
 - E: 04.03.14 rear extension reduced in width to fall within MoD agreed site boundary



proposed floor plans 1 : 50



scale 1:50

AREM architectural design

Client: Damian and Ann Marie Kenyon

Hollingrove Stables

Rushmore Woods, Walscombe Brook

Sheet: Proposed Plans

Drawing No:	AD1301_06	E
-------------	-----------	---

scale: 1:50 @A3

8 Men Street

date: 09.09.13

Katuboruan

draw: BP check

Burg

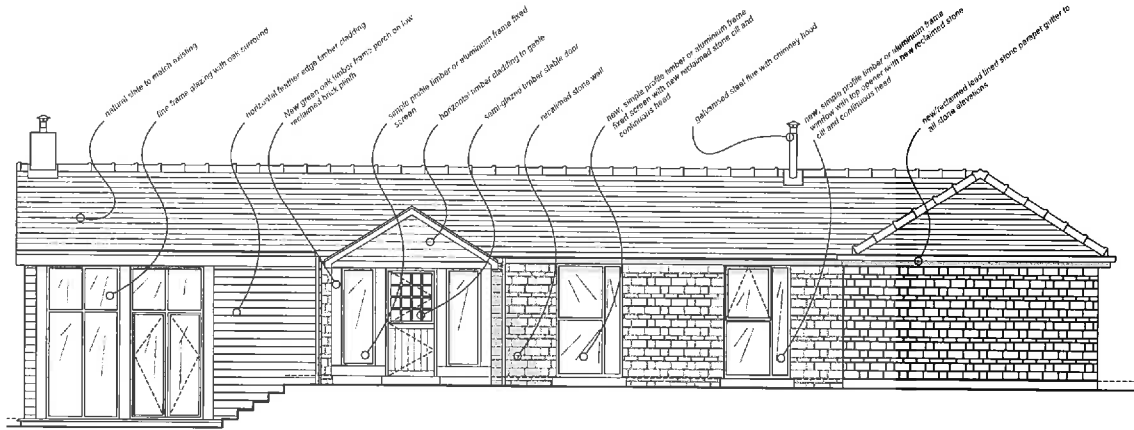
0721553182

0721553182

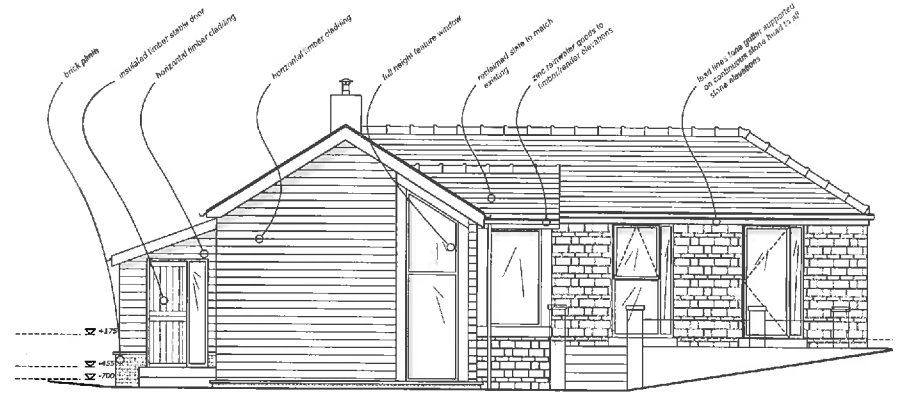
ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/DESIGNER, AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/DESIGNER.

All elevations to be checked on site before commencement of works. Do not make any alterations to this drawing. Any alterations are to be noted on the drawing. The architect's responsibility is to ensure that the drawings are in accordance with the relevant building regulations and standards.

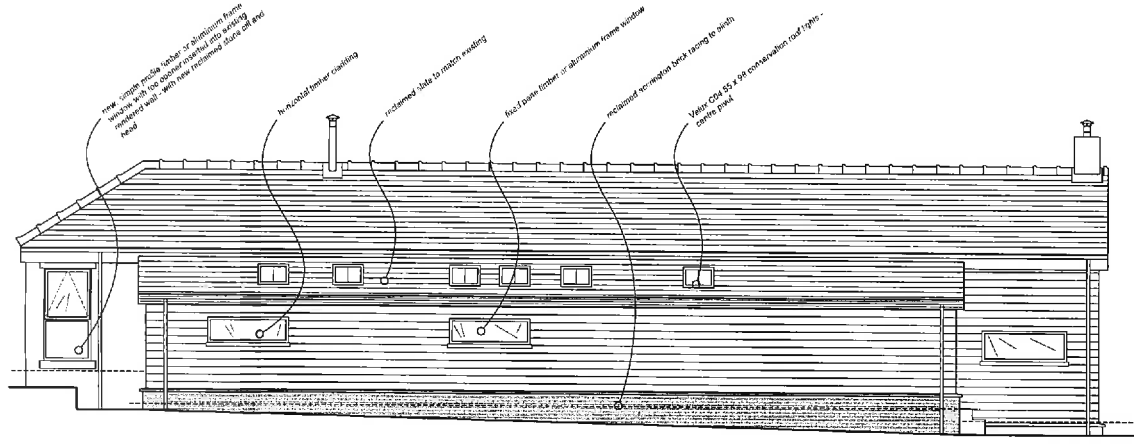
02.10.13 Rear Extension added
 A: 24.11.13 elevational detail added
 B: 06.12.13 elevations adjust to reduce volume of extensions
 C: 14.01.14 adjusted to reflect updated rear boundary
 D: 04.03.24 adjusted to reflect MoD agreed rear boundary



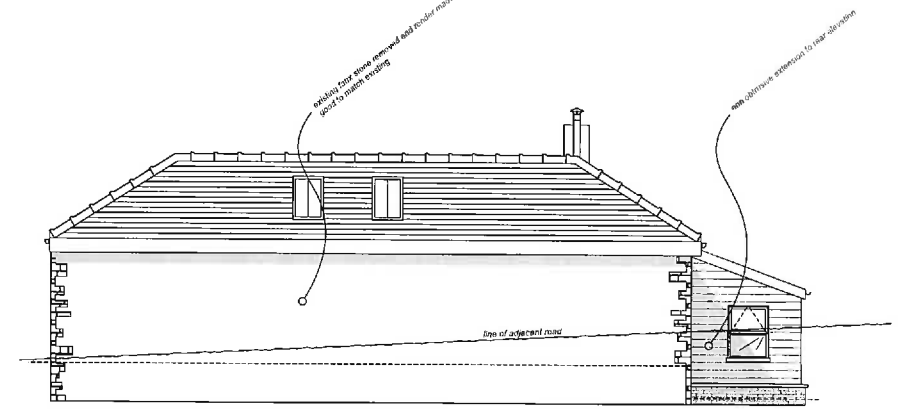
proposed front elevation (east)



proposed garden elevation (south)



proposed field elevation (west)



proposed road elevation (north)



architectural design
 David and Ann Marie Kenyon

Hollingrove Stables
 Redburn Woods, Hildesheim, UK

Project: Proposed Elevations

Reference: AD1301	Sheet: 11	Date: D
-------------------	-----------	---------

Scale: 1:50 @ A1
 Date: 15/1/13
 Drawn: [Name]
 Checked: [Name]

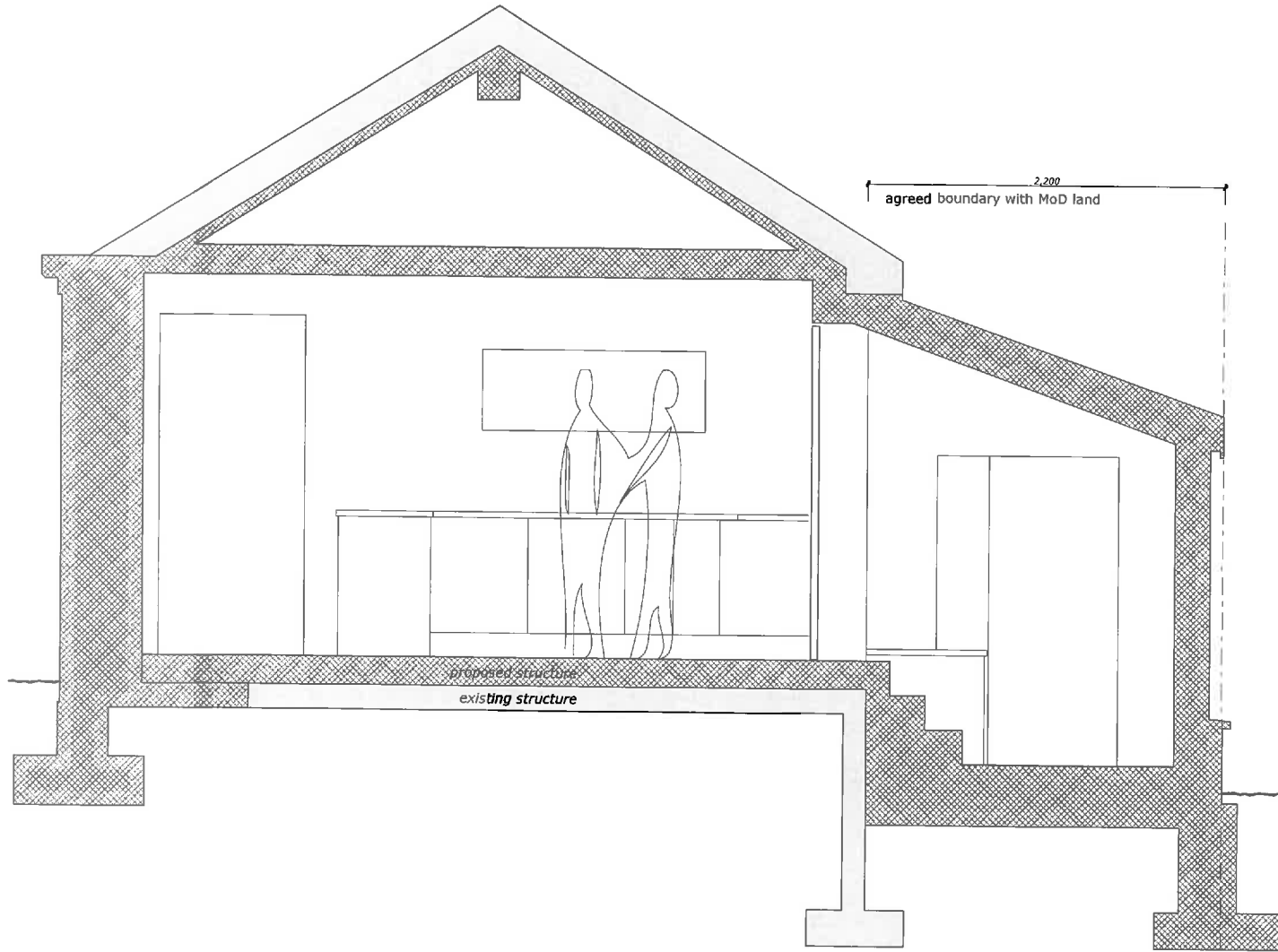
4 Sugart Place
 London, SW9 9 1ND
 07932 482124
 www.whitworthhowell.co.uk
 holl@whitworthhowell.co.uk

ALL DRAWINGS AND WRITTEN INSTRUMENTS HEREBY CONSTITUTE THE ORIGINAL AND UNREVOKED AGREEMENT OF THE ARCHITECT FOR THE CLIENT AND THE CLIENT SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF THE SAME. THE ARCHITECT'S LIABILITY IS LIMITED TO THE EXTENT OF HIS PROFESSIONAL OBLIGATIONS.

All dimensions to be checked on site before commencement of works. Do not scale from this drawing. Any discrepancies are to be notified to the Architect/Designer immediately IF IN DOUBT - ASK. Unless otherwise stated all dimensions are given in millimetres.

DATE:

04.03.14 updated boundary location



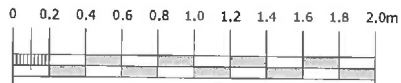
▽ +2,405 proposed rear extension ridge height

▽ +175 proposed main house floor level

▽ ±0 original floor level

▽ -455 proposed rear extension floor level

▽ -700 proposed side extension floor level



scale 1:20

proposed section AA 1 : 20

AREM architectural design

Client: Damian and Ann Marie Kenyon

Hollingrove Stables

Redstone Woods - Midsomer Norton

Sheet: Proposed Section AA

Drawing No:	AD1301	08	D
-------------	--------	----	---

scale: 1:20 @A3

date: 09.09.13

drawn: ep

checked: ep

www.arem.design@gmail.com

ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/DESIGNER, AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/DESIGNER.



SCALE: 1:2000 DATE:

Based on the Ordnance Survey mapping with the permission of the Controller of Her Majesty's Stationery Office © Crown copyright.
Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings. Bury M.B.C. 100023063/2014.



Bury
COUNCIL

PHOTOGRAPHIC COPY LIABLE TO DISTORTION IN SCALE



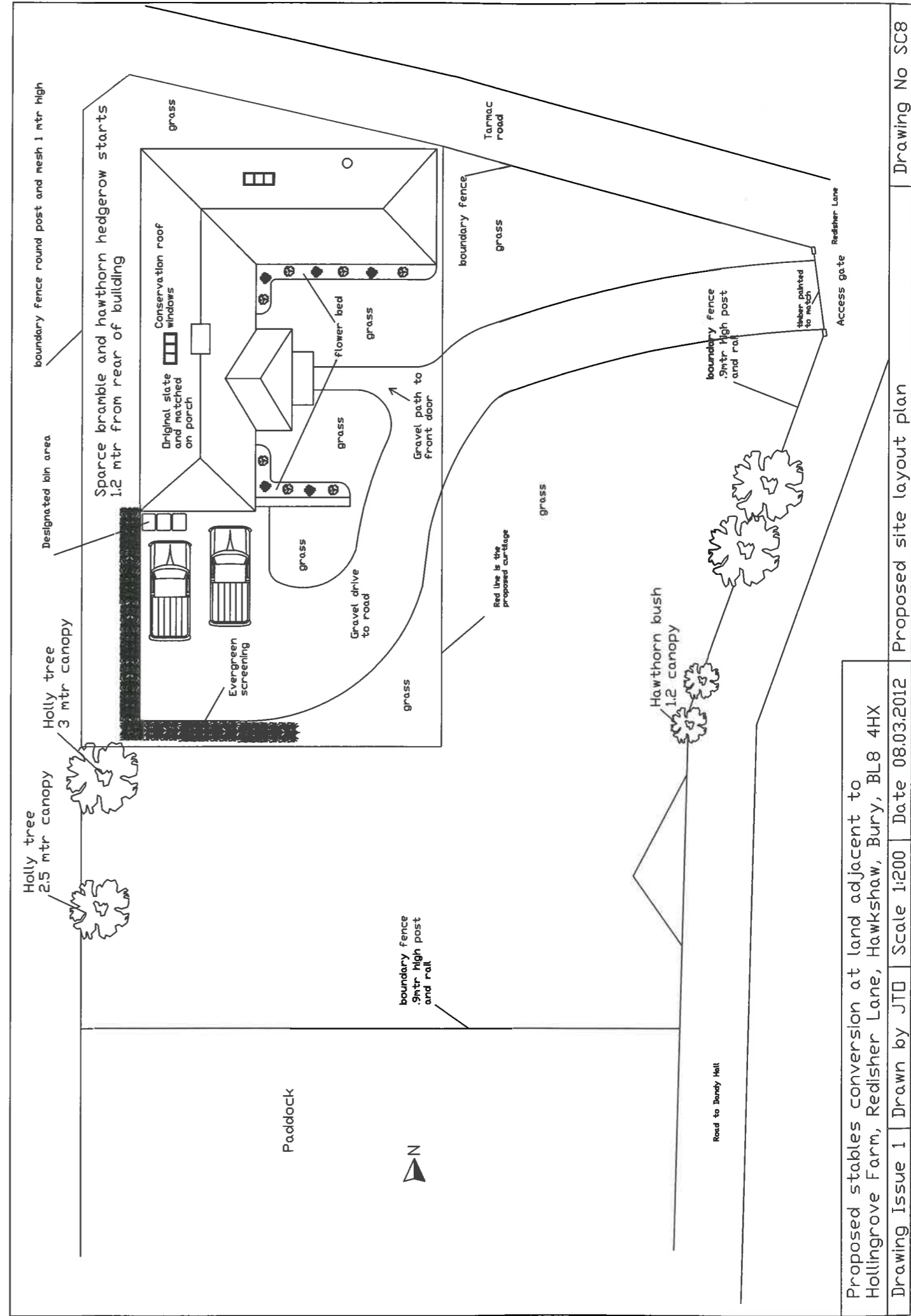
SCALE: 1:500 DATE:

Based on the Ordnance Survey mapping with the permission of the Controller of Her Majesty's Stationery Office © Crown copyright. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings. Bury M.B.C. 100023063/2014.

PHOTOGRAPHIC COPY LIABLE TO DISTORTION IN SCALE



Bury
COUNCIL



Proposed stables conversion at land adjacent to Hollingrove Farm, Reddish Lane, Hawkshaw, Bury, BL8 4HX

Drawing Issue 1 | Drawn by JTD | Scale 1:200 | Date 08.03.2012

Proposed site layout plan

Drawing No SC8

Ward: Radcliffe - East

Item 05

Applicant: HB Community Solutions Living Ltd

Location: Former Whittaker House, Parsonage Street/Whittaker Street, Radcliffe, Manchester, M26 2TD

Proposal: Demolition of existing building and erection of supported living accommodation (14 one-bedroom apartments) and Higher Complex Care accommodation (6 one bedroom-apartments) together with access and landscaping

Application Ref: 57362/Full

Target Date: 12/06/2014

Recommendation: Minded to Approve

Description

The site contains Whittaker House, which was previously used as a care home for the elderly. The building is single storey and is constructed from red brick with a tile roof. There are mature trees along the boundary with the canal to the north. The site is currently accessed from Whittaker Street and the turning head for Parsonage Street is adjacent to the site.

The site is bounded by residential properties to the east, south and west. The boundary to the north is marked by the Manchester, Bolton and Bury Canal with residential properties beyond.

The proposed development involves the demolition of the existing building and the erection of 2 blocks of self contained apartments. One block would be two storeys in height and would be located in the northern part of the site. It would contain 14 apartments and would be used as supported living accommodation.

The second block would be located in the southern part of the site and would be single storey. It would contain 6 units of higher complex care accommodation. Both of the proposed buildings would be constructed from red/brown brick with a grey tile

The supported living and the higher complex care accommodation is specifically designed for vulnerable persons who may need occasional on-site support - those with learning difficulties, autism and physical disabilities. The aim is to help these vulnerable people lead an independent life in good quality, well equipped accommodation with access to on-site support as and when required.

Relevant Planning History

Adjacent site

57363 - Part demolition of Whittaker House and construction of 11 no. affordable dwellings at 40 Whittaker Street, Radcliffe. Received - 11 April 2014.

Publicity

The neighbouring properties (Sheffield Walk, Great Hall Close, Whittaker Street, Parsonage Street, Seddon Close, Seddon Street, Shirebrook Drive, Landore Close, Kingmoor Avenue) were notified by means of a letter on 20 March and a press notice was posted on 3 April. Site notices were posted on 21 March 2014.

41 letters have been received from the occupiers of 2, 4, 6, 8, 10, 12, 14, 16 Parsonage Street; 2, 4, 6, 11 Kingmoor Avenue; 3, 8, 9 Landore Close; 26, 28 Whittaker Street; 3, 5, 8, 9, 11, 14, 15, 16 Shirebrook Drive; 27 Hunter Drive; 4, 48 Shetland Way; 4 Martingale

Close; 25 Chestnut Fold; 43 Great Hall Close, which have raised the following queries:

- Object to the access being taken from Parsonage Street and the access should be taken from Whittaker Street as existing.
- Object as the access to the canal would be restricted.
- Parsonage Street is not wide enough for access from emergency vehicles
- Existing dwellings would be devalued.
- The residents have a right to feel safe and secure and the proposal would put an end to that.
- The proposed building would block light to properties on Parsonage Street.
- The type of tenant would be high risk and pose a threat to existing residents.
- This sort of building needs to be built out of town away from vulnerable adults and children.
- It is a disgrace that the building has been left idle for a number of years and should be put to use, which would be a fraction of the cost of a new development.
- Against the proposed building works as you are putting our children at risk of harm if one of these so called behavioural/mental patients were to escape. To build something like this in a family orientated area is barbaric.
- Stop wasting money on projects like this and plough money into fixing the pool and recreational areas for Radcliffe instead of turning this once striving town into a doss hole.
- Developing is fine but adding more potentially problematic people to the area is unacceptable especially with the number of children in the area and the already existing social housing within a stones throw of Whittaker House
- The proposed development would spoil the view from the existing houses.
- The proposed development would be out of character with the area due to its high density.
- In the planning application it states that some of the residents will have forensic mental health needs, but no further explanation is given. The British Journal of Psychiatry (2000; vol. 176; pp307-311 Mullen Forensic Mental Health) states that ...related directly to violent and criminal behaviour and it is unclear how the integration of these clients will be properly monitored as the ratio of staff to clients in the complex will be minimal.
- The location is entirely unsuitable for such premises and the centre of a built up area is not the best place for people with High Complex Care.
- Not been forthcoming with answers when asked if they would house sex offenders, paedophiles or people who have committed violent offences.
- Radcliffe is not a dumping ground. Build it in Bury next to the Town Hall offices!!!
- I have learned, on trustworthy authority, that the residence is to be used for drug addicts.

The objectors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections in principle. Further comments to be reported in the Supplementary Report.

Drainage Section - Comments awaited.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land.

Waste Management - No objections.

Design for security - No objections.

GM Ecology Unit - Require an emergence survey prior to determination. No objections, subject to the inclusion of conditions relating to nesting birds, landscaping scheme.

Canal & River Trust - No objections, subject to the inclusion of a condition relating to boundary treatments along the canal and an informative.

United Utilities - No objections, subject to the inclusion of conditions relating to foul and surface water drainage.

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H4/2	Special Needs Housing
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN6	Conservation of the Natural Environment
EN6/1	Sites of Nature Conservation Interest SSSI's NNR's
EN6/4	Wildlife Links and Corridors
EN7	Pollution Control
EN7/5	Waste Water Management
EN8	Woodland and Trees
EN8/2	Woodland and Tree Planting
EN10/2	Riverside and Canalside Improvement in Urban Areas
RT2/2	Recreation Provision in New Housing Development
RT4/7	The Manchester, Bolton and Bury Canal
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
CF1/1	Location of New Community Facilities
CF3	Social Services
SPD1	Open Space, Sport and Recreation Provision
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Following revocation of the North West Regional Strategy on 20th May 2013, there is no statutory housing target for Bury. Work is in progress on Bury's Local Plan - 'The Core Strategy', which will bring forward a new statutory housing target. It is currently proposed that the new housing target in the Local Plan should be set at 400 dwellings per annum, which is currently timetabled to be adopted in 2014.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for housing development, including the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses and other policies and proposals of the plan.

Policy H4/2 states that the Council will encourage the provision of special needs housing and it will be assessed with regard to the location of the site in relation to local shops, public transport, health facilities and community facilities; the gradient on site; car parking; amenity space and the design, layout and landscaping of the site.

The site is located within the urban area and is surrounded by residential properties. As such, the proposal would not conflict with the surrounding land uses. The site contains an existing

building and as such, is previously developed land and there would be adequate infrastructure available. The site is located within walking distance of Radcliffe town centre and is close to a bus route. The issues of car parking and design and layout of the site will be assessed later in the report. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policies H1/2 and H4/2 of the Bury Unitary Development Plan.

Design and layout - The proposed development of 2 buildings is traditional in design with both buildings incorporating a pitched roof. There are a variety of buildings within the locality, but there is no prevailing type or design. The proposed buildings would be constructed from red brick and grey tile with render at the entrances to the building. The use of materials along with the inclusion of reconstituted stone headers and cills would add visual interest to the elevations. Therefore, the proposed development would not be a prominent feature within the streetscene and would be in accordance with Policy H2/1 and H2/2 of the Bury Unitary Development Plan.

The proposed level of private amenity space for the two buildings would be acceptable and a bin store, which would be constructed from timber, would be located adjacent to the access. The proposed fencing would match the existing fencing in the locality and would not be a prominent feature within the streetscene. Therefore, the proposed development would be in accordance with Policies H2/1, H2/2 and EN1/2 of the Bury Unitary Development Plan.

Impact upon residential amenity - SPD6 provides guidance on aspect distances between residential properties and would be relevant in this case.

There would be 13 metres between the existing dwellings on Seddon Close and the gable wall of the proposed development. There would be at least 14 metres between the existing dwellings on Parsonage Street and the proposed single storey building. The proposed development would comply with the aspect standards in SPD6 and as such, would not have an adverse impact upon the residential amenity of the neighbouring properties.

Ecology - A bat survey was submitted with the application, which required a further emergence survey to be undertaken. The emergence survey is being undertaken and will be reported on in the supplementary report.

GM Ecology Unit has no objections to the scheme (with the exception of the bat issue), subject to the inclusion of conditions relating to nesting birds and a landscaping scheme. Therefore, the proposed development would not have an adverse impact upon a feature of ecological interest and would be in accordance with Policy EN6 and EN6/3 of the Bury Unitary Development Plan and the NPPF.

Trees - There are a number of mature trees on the site, which are located along the boundary with the dwellings on Seddon Street and the canal. The proposed development would require the removal of 17 trees. However, 16 of the trees to be removed are category C and are of poor quality or are damaged. As such, the removal of these trees would give an opportunity to provide good quality planting within the site and this would be secured through a condition. Therefore, the proposed development, subject to conditional control, would not impact upon the character of the area and would be in accordance with Policy EN8 of the Bury Unitary Development Plan.

Highways issues - The proposed development would be accessed from Parsonage Street and would link to the turning head. There would be acceptable levels of visibility and the Traffic Section has no objections in principle, with further comments to be reported in the Supplementary Report. Therefore, the proposed development would be in accordance with Policies H2/1 and H2/2 of the Bury Unitary Development Plan.

Parking - SPD11 states that the maximum parking standards for a 1 bedroom unit is 1 space per unit, which equates to 20 spaces.

The proposed development would provide 15 spaces. The proposed development is for people with learning difficulties and physical disabilities and as such, it is likely that car ownership would be low. The likely traffic generation would be from staff and visitors to the site. As such, given the close proximity to the town centre and public transport and the low level of car ownership, it is considered that the level of parking would be acceptable in this case. Therefore, the proposed development would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

Planning obligations - A payment of £33,873.28 would be required in accordance with SPD1. The applicant is submitting a viability appraisal and further information will be reported in the Supplementary Report.

Response to objectors

The issues relating to loss of light and privacy, access from Parsonage Street and design and layout are dealt with in the main report. The issues relating to the impact on property prices and the loss of view are not material planning considerations and cannot be taken into consideration.

The proposed development would be used to support vulnerable people with learning difficulties, autism and physical disabilities, who would pose a minimal risk to the community. The proposed units would be staffed and the staff would offer support as and when required to residents to help them lead an independent life.

The applicant has confirmed that the proposed units would not be used to house sex offenders, paedophiles, drug addicts or people who have committed violent crimes. It should be noted that planning consent would be required to change the use of the proposed buildings to a bail hostel.

Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 6912/01, AL-90-100, AL-90-101, AL-20-100, AL-20-200 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development

is commenced. Only the approved materials/bricks shall be used for the construction of the development.

Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.

4. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and; The approved contamination testing shall then be carried out and validatory evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:

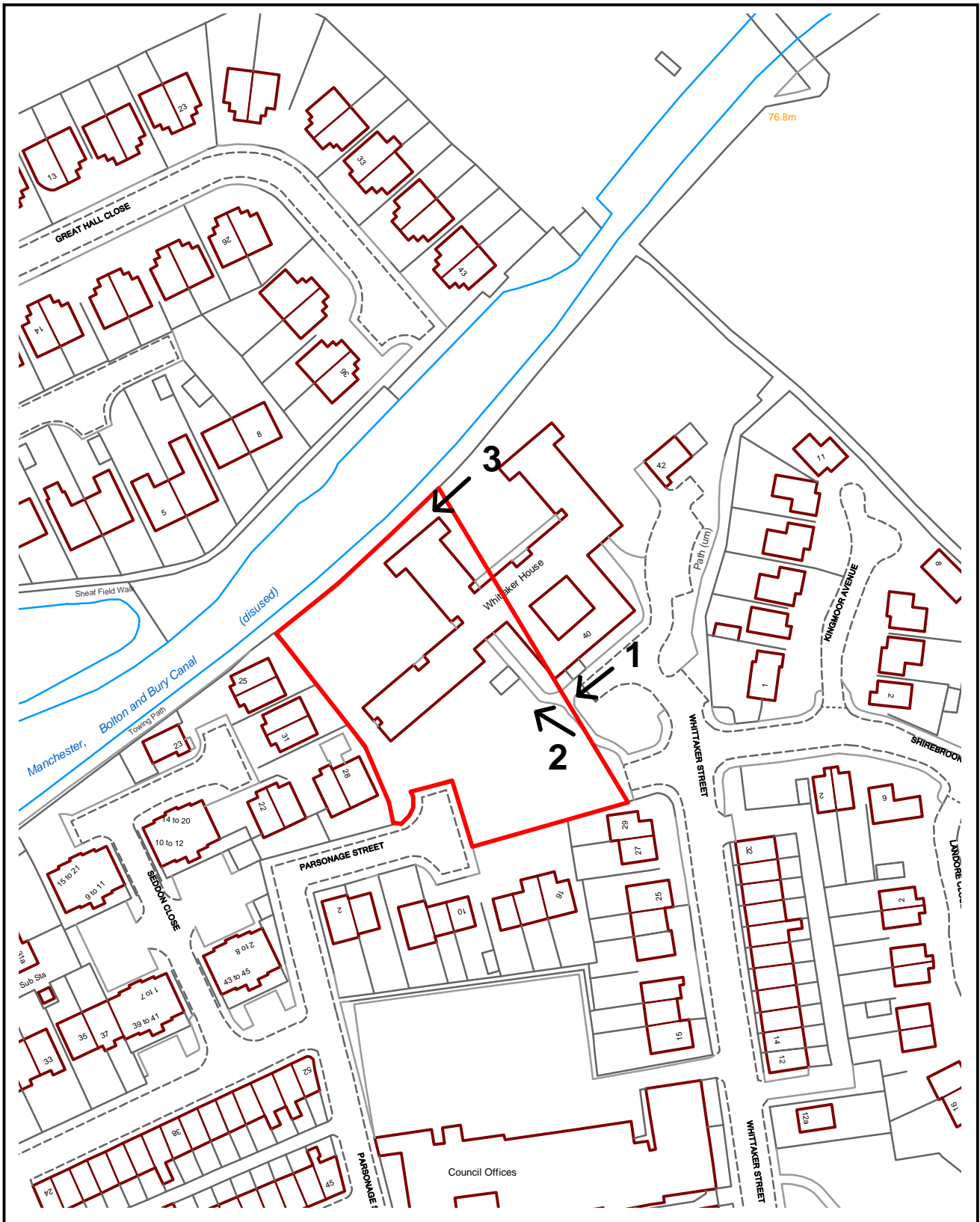
- Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
- A Site Verification Report detailing the conclusions and actions taken at each

stage of the works including validation works shall be submitted to, and approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

8. No works shall be carried out to the trees that would disturb nesting birds between 1st March and 31st August inclusive in any year.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
9. The development hereby approved shall not commence unless and until all the tree protection scheme in the Arboricultural Impact Assessment, dated 11 March 2014, have been implemented, to the written satisfaction of the Local Planning Authority and all measures required by the scheme shall continue until the development has been completed.
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
10. A landscaping scheme, including details of measures to mitigate for any impacts upon the Manchester, Bolton and Bury Canal Site of Biological Interest and replacement trees, shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development. It shall be implemented not later than 12 months from the date the building(s) is first occupied; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
11. No development shall commence unless or until details of foul and surface water drainage have been submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to first occupation of the buildings hereby approved.
Reason. To ensure a satisfactory means of drainage pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan.
12. Prior to the commencement of development, details relating to the proposed boundary treatment along the boundary with the canal shall be submitted to and approved in writing by the Local Planning Authority. The approved details only shall be implemented as part of the approved development.
Reason - To secure the satisfactory development of the site and in the interests of the visual amenities of the area pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
13. The finished floor level for the two storey building shall be 77.850 and the finished floor level for the single storey building shall be 77.220.
Reason. To ensure a satisfactory development in the interests of visual amenity pursuant to Policy EN1/2 of the Bury Unitary Development Plan.

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 57362

**ADDRESS: Former Whittaker House
Parsonage Street / Whittaker Street
Radcliffe**

Planning, Environmental and Regulatory Services 1:1250

(C) Crown Copyright and database right (2013). Ordnance Survey 100023063.



57362

Photo 1



Photo 2



Photo 3



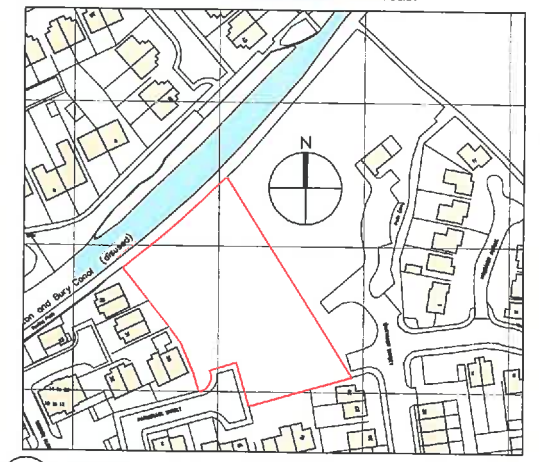


KEY TO HATCH / MATERIALS

- TARMACADAM HARD STANDING. VEHICLE GRADE. WHITE ROAD MARKINGS AS SHOWN
- 600 X 600MM PAVING FLAG
- GRASSED AREA
- NEW BOUNDARY FENCE - 1800MM HIGH CLOSE BOARDED TIMBER FENCE (2000MM WHERE NOTED)
- EX. BUILDING (EXTRACT OF OS MAP)
- INDICATIVE PLANTING - DETAILED DESIGN TO LANDSCAPE ARCHITECT TO DETAIL
- 2M HIGH METAL FENCE TO BOUNDARY ALONG CANAL TOW PATH. TYPE TBA WITH LPA
- SOFT LANDSCAPE AREA: SHRUBS AND PLANTING SPEC TO LANDSCAPE ARCHITECTS DESIGN
- EX. LEVELS & CONTOURS. REDUCED TO SUIT NEW FFLS
- EX. TREES RETAINED (6 PROTECTED DURING CONSTRUCTION WORKS ON SITE)
- EX. TREES TO BE REMOVED

NOTES

ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE
 ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE ANY WORK COMMENCES
 THIS DRAWING SHALL NOT BE SCALED TO ASCERTAIN ANY DIMENSIONS WORK TO FIGURED DIMS ONLY
 THIS DRAWING SHALL NOT BE REPRODUCED WITHOUT EXPRESS WRITTEN PERMISSION FROM AFL LTD.



PL1 19/02/2013 Issued for PLANNING AB

rev	date/draw	description

project
Assisted Living Units, Bury

location
Bury

client
HB Villages

AFL Architects
 1st Floor
 51 Georges House
 56 Peter Street
 Manchester UK
 M2 2HG
 t: +44(0)161 236 6263
 f: +44(0)161 236 6484
 w: www.afl-uk.com
 e: m@afl-uk.com
 London office
 t: +44 (0)20 7831 8877

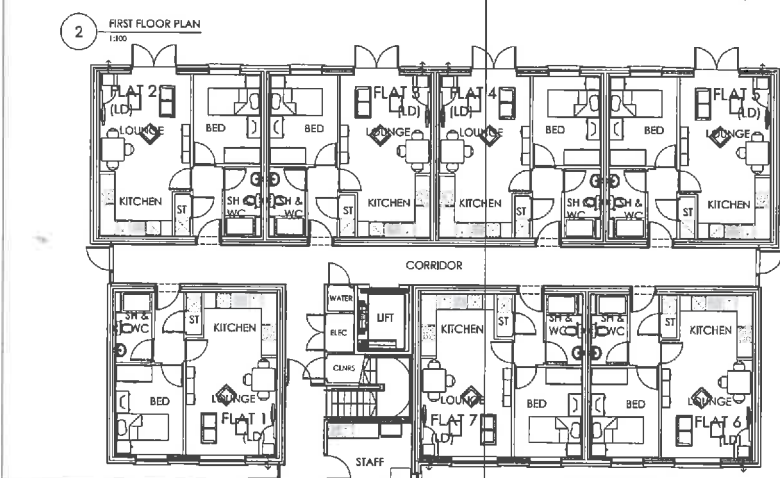
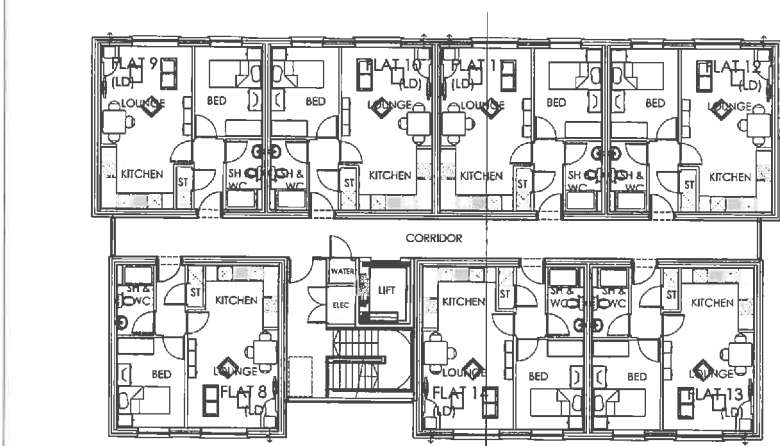
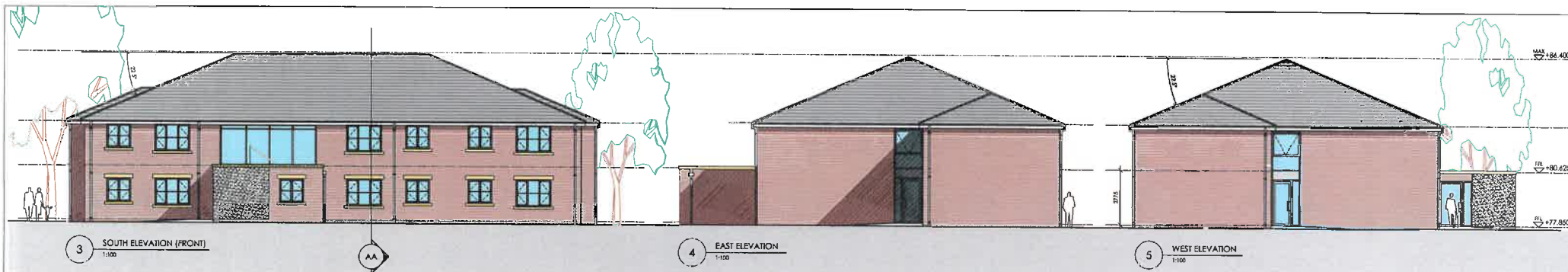


drawing title
SITE & LOCATION PLAN

dwg purpose
PLANNING

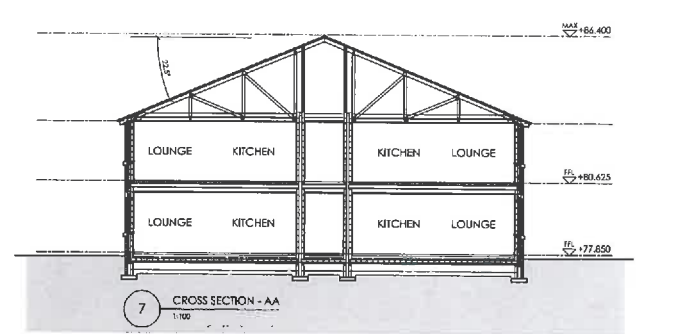
scale	1:100	drawn	AB	checked	AB
@ sheet size	A2	rev date	19/02/14		

134102	AL-90-100	PL1
job number	drawing number	revision



MATERIALS

ROOF: SLATE GREY CONCRETE TILE E.G. MARLEY MODERN OR SIMILAR APPROVED WALLS: RED / BROWN MULTI-FACING BRICKWORK E.G. ISBOCK RAVENHEAD FEATURE K-REND THROUGH COLOUR RENDER PANEL TO MAIN ENTRANCE POD WINDOWS: WHITE UPVC CURTAIN WALLING & DOORS: WHITE PPC ALUMINIUM OR UPVC GUTTERS & RWP'S: BLACK UPVC, E.G. MARLEY LIFE4 FEATURE CILLS & UNTELS: RECONSTITUTED STONE



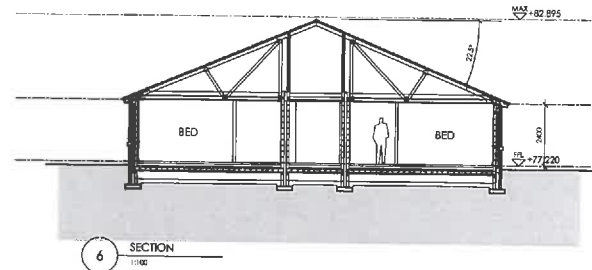
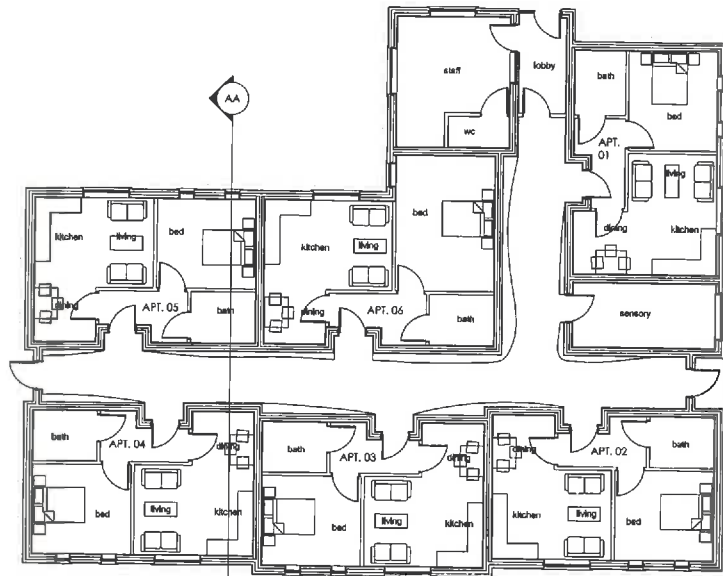
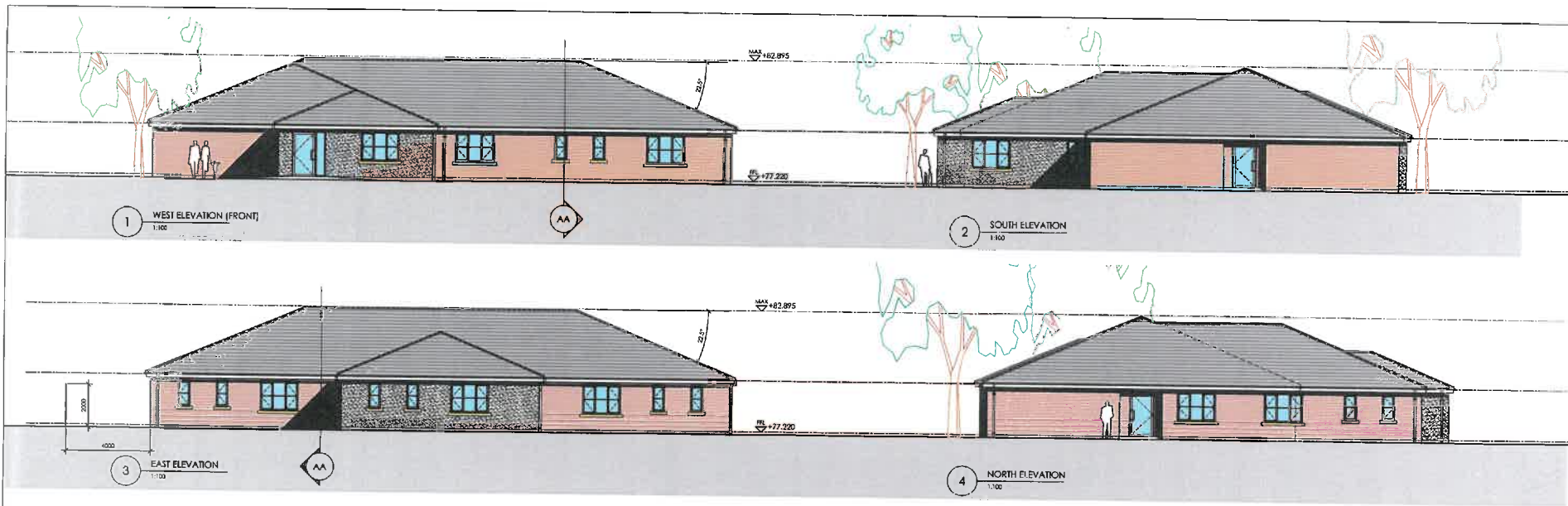
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE ANY WORK COMMENCES. THE DRAWING SHALL NOT BE RE-SCALE TO ASCERTAIN ANY DIMENSIONS WORK TO FIGURED DATA ONLY. THE DRAWING SHALL NOT BE REPRODUCED WITHOUT EXPRESS WRITTEN PERMISSION FROM AFL LTD.

PL 18/02/2014 issued for PLANNING AS

rev description

<p>AFL Architects 18 Floor 11 Georges House 24 Water Street Manchester M4 3JQ T: +44(0)161 254 4263 F: +44(0)161 254 4494 W: www.afl-uk.com E: info@afl-uk.com G: 11-14 (0)33 7492 3542</p>	<p>client: HS Villages</p> <p>project: Assisted Living Units, Bury</p> <p>location: Bury</p>	<p>drawing title: SUPPORTED LIVING UNITS PLANS, SECTIONS & ELEVATIONS</p> <p>drawing purpose: PLANNING</p> <p>scale: 1:100 @ sheet size: A1</p> <p>134102 @ number</p>	<p>drawn AS checked AT 18/02/14</p> <p>AL-20-100 @ drawing number</p> <p>PL1 @ revision</p>
---	---	--	---





MATERIALS

ROOF: SLATE GREY CONCRETE TILE E.G. MARLEY MODERN OR SIMILAR APPROVED
 WALLS: RED / BROWN MULTI FACING BRICKWORK E.G. BS200 RAVENHEAD
 FEATURE K-REND THROUGH COLOUR RENDER PANEL TO MAIN ENTRANCE POD
 WINDOWS: WHITE UPVC
 CURTAIN WALLING & DOORS: WHITE PPC ALUMINIUM OR UPVC
 GUTTERS & RWP'S: BLACK UPVC, E.G. MARLEY LIFE4
 FEATURE CILLS & UNTELS: RECONSTITUTED STONE

ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE ANY WORK COMMENCES. THE DRAWINGS SHALL NOT BE SCALED TO ASCERTAIN ANY DIMENSIONS WORK TO FIGURED DIMS ONLY. THE DRAWING SHALL NOT BE REPRODUCED WITHOUT EXPRESS WRITTEN PERMISSION FROM AFL.

FL1 20/02/2014 saved for PLAN-ING
 AS

rev. date/description

rev. date/description

rev. date/description

AFL Architects
 51/52
 St Georges House
 56 Friar Street
 Manchester M2 3JZ
 T +44(0) 161 234 6242
 E +44(0) 161 234 6244
 W www.afl.co.uk
 O m.afl@afl.com
 Location office
 L +44 (0)20 7621 8877

client
 HS Villages

project
 Assisted Living Units, Bury
 location
 Bury

REV 2004

client ref
 RCC UNIT
 PLANS, SECTIONS & ELEVATIONS

DATE SUBMITTED
 PLANNING

SCALE: 1:100
 SHEET NO: AL-20-000-AL
 DATE: 19/02/14
 134102 AL-20-000 FL1
 DRAWN BY: J. BURY
 CHECKED BY: J. BURY

